

VICINITY MAP

SCALE: 1"=500'

ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20240512299, SUBMITTED ON 02/20/2024.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:

(AX) PENNSYLVANIA AMERICAN WATER COMPANY
852 WESLEY DRIVE
MECHANICSBURG, PA 17055
CONTACT: JEFF DREW
PHONE: 717-550-1516
EMAIL: jeff.drew@awwater.com

(LA1) LOWER ALLEN TOWNSHIP SEWER AUTHORITY
120 LIMEKILN RD
NEW CUMBERLAND, PA 17070
CONTACT: BRIAN KAUFFMAN
PHONE: 717-774-0610
EMAIL: bkauffman@latwp.org

(ET) FRONTIER COMMUNICATIONS OF PA INC
300E LAIRD ST
WILKES BARRE, PA 18702-7025
CONTACT: MICHAEL NAVICH
EMAIL: michael.navich@fr.com

(PRD) PPL ELECTRIC UTILITIES CORPORATION
437 BLUE CHURCH RD,
PAXINUS, PA 17860
CONTACT: 570-490-5684
CONTACT: DOUG HAUT
EMAIL: dhaup@pplweb.com

(HC) VERIZON PENNSYLVANIA LLC
1026 HAY STREET
PITTSBURGH, PA 15221
CONTACT: SEAN BRENNEN
PHONE: 717-675-4780
EMAIL: sean.e.brennen@one.verizon.com

(SB) COMCAST
4601 SMITH ST.
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: mike_sweigard@cable.comcast.com

(UJ) UGI UTILITIES INC
1301 AIP DRIVE
MIDDLETON, PA 17057
CONTACT: GEOFFREY FERGUSON
EMAIL: gferguson@ugi.com

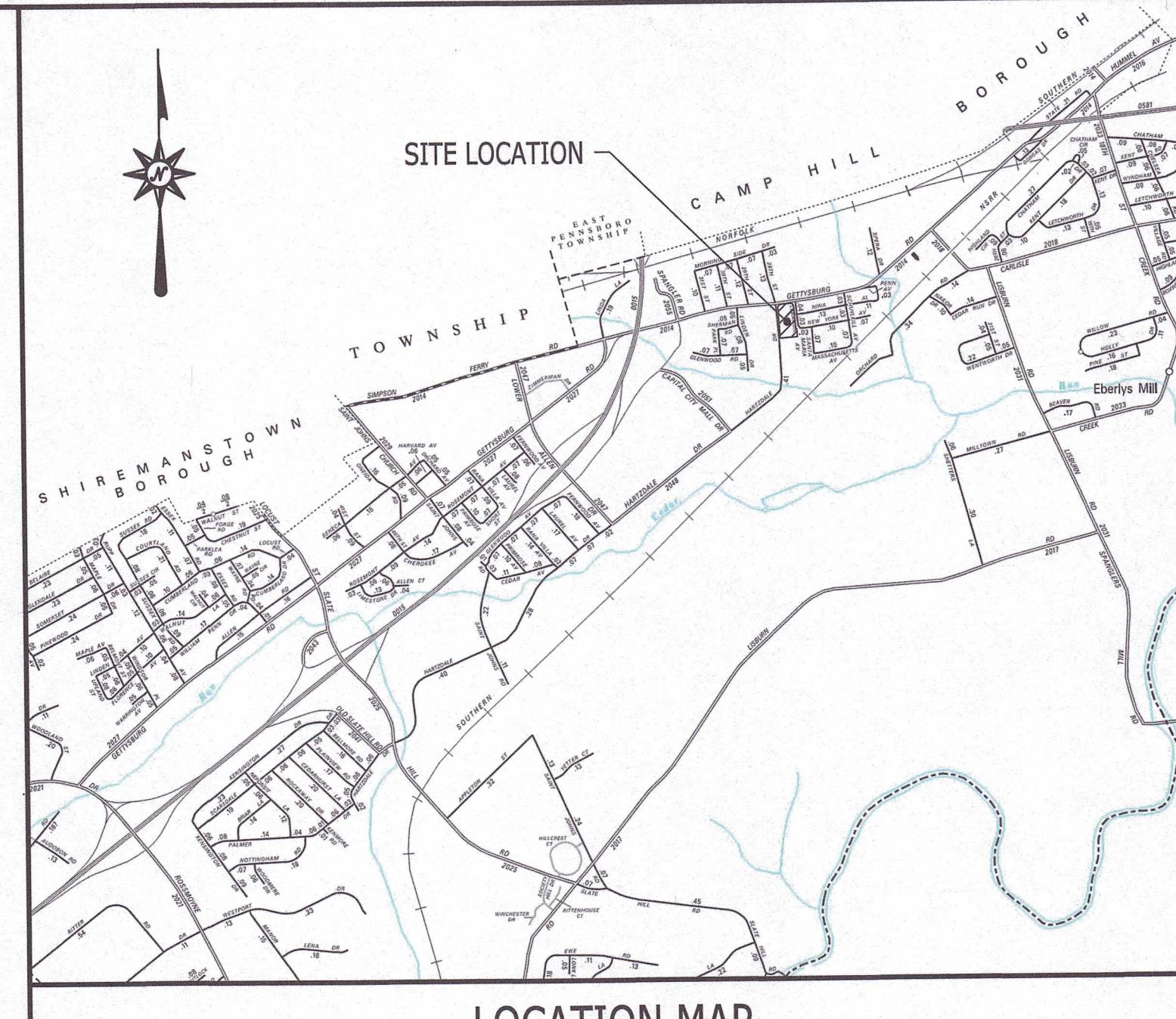
Sheet List Table

- 1 G.00 COVER SHEET
- 2 G.01 GENERAL NOTES
- 3 V.1.00 EXISTING CONDITIONS PLAN
- 4 V.2.00 SUBDIVISION PLAN
- 5 C.0.00 DEMOLITION PLAN
- 6 C.1.00 SITE PLAN
- 7 C.1.100 SITE DETAILS
- 8 C.1.101 SITE DETAILS
- 9 C.1.102 SITE DETAILS
- 10 C.2.00 GRADING & DRAINAGE PLAN
- 11 C.2.01 GRADING PLAN INSET
- 12 C.2.100 GRADING & DRAINAGE DETAILS
- 13 C.2.101 GRADING & DRAINAGE DETAILS
- 14 C.2.102 GRADING & DRAINAGE DETAILS
- 15 C.2.20 STORM PROFILES
- 16 C.2.21 SANITARY PROFILES
- 17 C.3.00 SITE UTILITY PLAN
- 18 C.3.01 EASEMENT PLAN
- 19 C.3.100 SITE UTILITY DETAILS
- 20 C.3.101 SITE UTILITY DETAILS
- 21 C.5.00 LANDSCAPING PLAN
- 22 C.5.10 LANDSCAPING NOTES & DETAILS

SUPPLEMENTAL PLANS

1. TRUCK TURNING PLAN
2. EXTERIOR LIGHTING LAYOUT PLAN, PREPARED BY RED LEONARD ASSOCIATES, INC.

FINAL LAND DEVELOPMENT PLAN SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE 3303 HARTZDALE DRIVE LOWER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA



LOCATION MAP

SCALE: 1"=2000'

ACKNOWLEDGEMENT OF STORMWATER MANAGEMENT FACILITIES

I ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMP'S TO BE PERMANENT FIXTURES CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY (SECTION 184-22.E.11)

John B. Weidler *David J. Becker*
OWNER *David J. Becker* OWNER *David J. Becker*

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF *Cumberland* SS
ON THIS, the *6*th DAY OF *May*, 20*24*, BEFORE ME, *Laurice Lewarchick*
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED *David J. Becker*, KNOWN TO ME (OR SATISFACTORILY PROVEN
TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED
THAT *David J. Becker* EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBUNTO
SET MY HAND AND OFFICIAL SEAL

NOTARY
Please see the attached *Jurat/Acknowledgment Certificate*

David J. Becker *LLC*
OWNER *David J. Becker* LLC MY COMMISSION EXPIRES *Dec. 1, 2025*

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF *Cumberland* SS
ON THIS, the *6*th DAY OF *May*, 20*24*, BEFORE ME, *Laurice Lewarchick*
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED *David J. Becker*, KNOWN TO ME (OR SATISFACTORILY PROVEN
TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED
THAT *David J. Becker* EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBUNTO
SET MY HAND AND OFFICIAL SEAL

NOTARY
Commonwealth of Pennsylvania - Notary Seal
LAURICE LEWARCHICK - Notary Public
My Commission Expires December 29, 2027
Commission No. 134054

David J. Becker *LLC*
OWNER *David J. Becker* LLC MY COMMISSION EXPIRES *Dec. 1, 2027*

DEVELOPMENT SCHEDULE

LAND DEVELOPMENT APPROVAL WINTER 2025
BUILDING PERMIT SPRING 2025
CONSTRUCTION START SPRING 2025
CONSTRUCTION END SPRING 2026

DEVELOPER/APPLICANT

SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602
C/O JESSICA L. URBAK, P.E., PMP
PHONE NO. (814) 946-3611

OWNERS

FARROW HOLDINGS LLC
2501 GETTYSBURG ROAD
CAMP HILL, PA 17011
DAVID J. BECKER
3303 HARTZDALE DRIVE
CAMP HILL, PA 17011

DATES

ISSUE DATE: SEPTEMBER 16, 2024
REVISION DATE: OCTOBER 29, 2024
JANUARY 31, 2025
MARCH 12, 2025
APRIL 15, 2025

G0.00 **No. 1 of 22**

VARIANCES REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING VARIANCES OF THE LOWER ALLEN TOWNSHIP ZONING ORDINANCE:

§220-239(A). REQUIRED OFF-STREET PARKING SPACES ACTION APPROVED DATE 09/20/2024

WAIVERS REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

ACTION	DATE
1. §192-30.A - PRELIMINARY PLAN SUBMISSION	APPROVED 02/24/25
2. §192-58.E.10 - PARKING LOT PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER	APPROVED 02/24/25
3. §192-59.C.2 - PARKING SPACES ADJACENT TO END ISLANDS SHALL BE AN ADDITIONAL 2' WIDTH	APPROVED 02/24/25
4. §192-57.C.8 - CURBS (TRANSITION FROM LEBANON ROAD TO NEW YORK AVENUE)	APPROVED 02/24/25
5. §192-57.C.9 - SIDEWALKS (TRANSITION FROM LEBANON ROAD TO NEW YORK AVENUE)	DEFERRED 02/24/25

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.

APPROVED THE *21st* DAY OF *February*, 20*24*.

CONDITIONS OF APPROVAL COMPLETED THIS *14th* DAY OF *May*, 20*24*.

Jenny Carson *Jennifer H. Farren*
PRESIDENT *Rebecca L. Davis*
SECRETARY

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

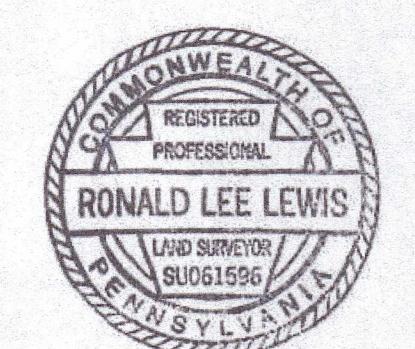
RECORDED THIS *21st* DAY OF *May*, 20*24*.

INSTRUMENT NO. *20240512299*

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

Ron Lewis
RON LEWIS, P.L.S.
REG. NO. P.L.S. SU61596



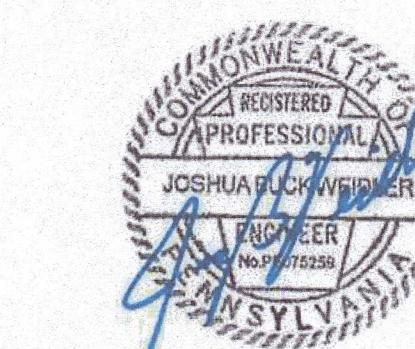
APRIL 15, 2025

DATE

ENGINEER'S CERTIFICATION

I, JOSHUA B. WEIDLER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

Joshua B. Weidler
JOSHUA B. WEIDLER
REG. NO. 075259



APRIL 15, 2025

DATE

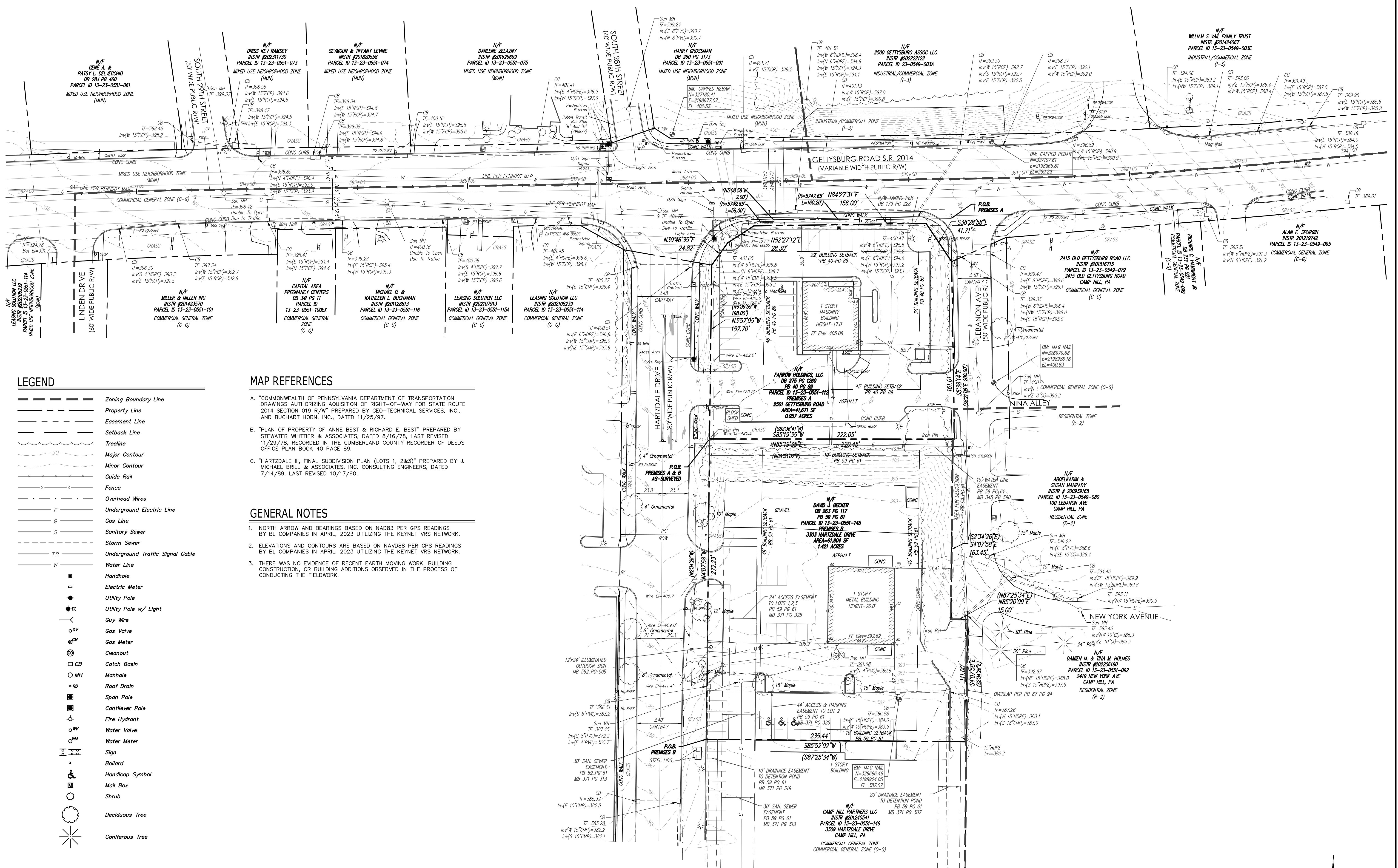
SITE WORK GENERAL NOTES

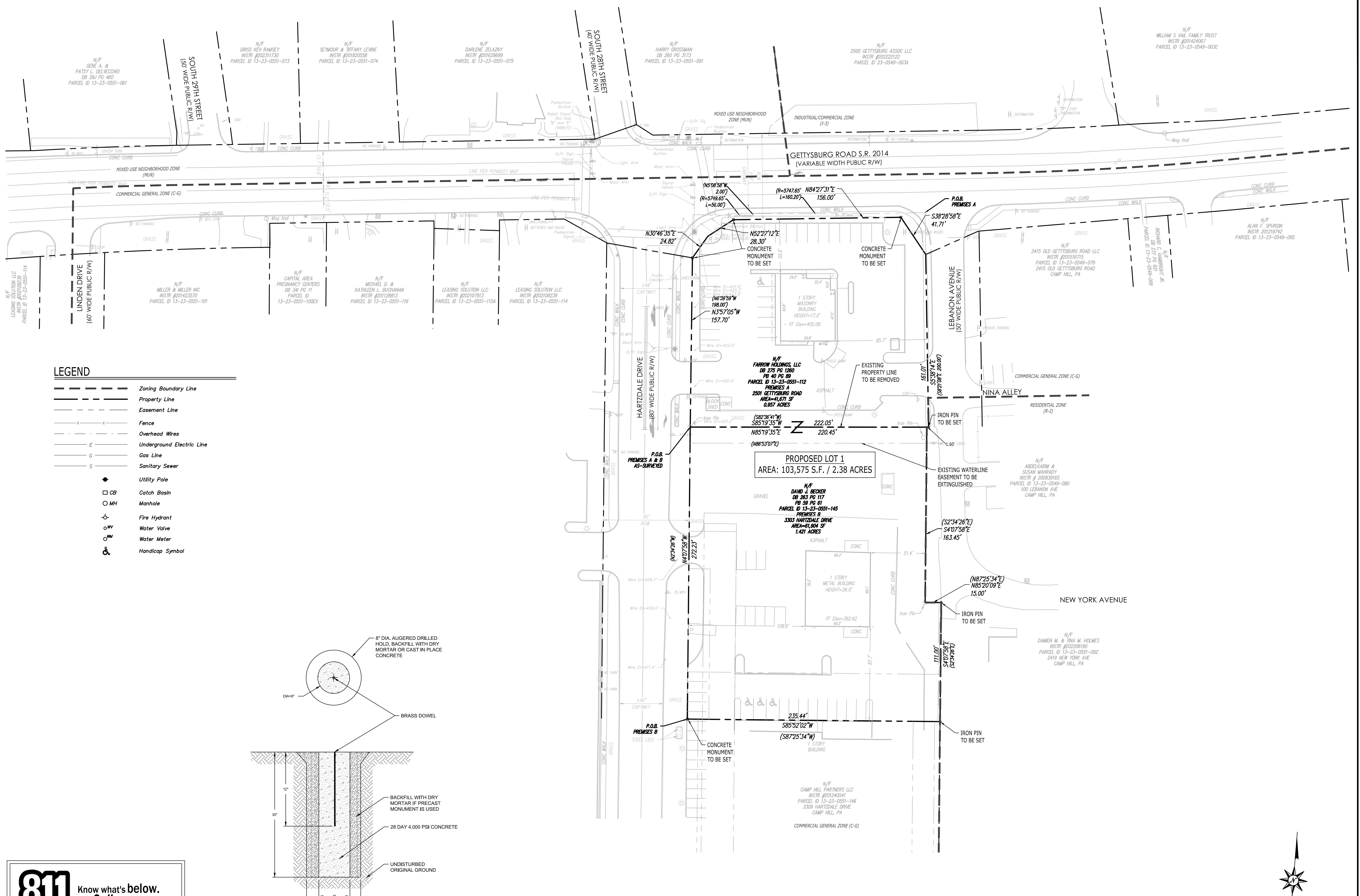
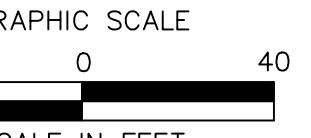
1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATIONS MANUAL, SHEETZ, INC. STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTAIN THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THE APPROPRIATE REVIEW CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVICES FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ADOBE ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.
6. CONTRACTOR SHALL SUBMIT AN AS-BUILT TOPOGRAPHIC SURVEY PREPARED AND STAMPED BY A LICENSED ENGINEER TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION. AS-BUILT SURVEY SHALL COMPLY WITH ALL APPENDIXES NOTICE OF TERMINATION REQUIREMENTS, MUNICIPAL ORDINANCE REQUIREMENTS AND INCLUDE ALL SITE ELEMENTS, TOPOGRAPHY, STORMWATER MANAGEMENT FACILITY STRUCTURES/BASINS AND LANDSCAPE ELEMENTS.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR SURVEYS AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS LOCATED IN THESE RECORDS ARE NOT PRECISE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE LOCATION AND INVERT AND UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
10. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
11. A PA. ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 20240512299.
12. DO NOT SCALE DRAWINGS. DIMENSIONS COVER OVER SCALED DIMENSIONS.
13. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
14. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
15. ALL NOTES AND DIMENSIONS DESIGNATED AS "TYPICAL" OR "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
16. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
17. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEEMED UNACCEPTABLE.
19. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
20. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
21. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
22. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
23. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS, LANDINGS, AND RAMPS.
24. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
25. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
26. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LINES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
27. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
28. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
29. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
30. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
31. PAVEMENT MARKING KEY:
 - 4" SYL 4" SOLID YELLOW DOUBLE LINE
 - 4" SYL 4" SOLID YELLOW LINE
 - 4" SML 4" SOLID WHITE LINE
 - 12" SWL 12" SOLID WHITE STOP BAR
 - 4" BML 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
32. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER, HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
33. ALL PAVEMENT MARKINGS, PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED.
34. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTIC.
35. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
36. THE TOPOGRAPHY SURVEY AND PROPERTY BOUNDARY DATA IS BASED ON THE DRAWING TITLED "EXISTING CONDITIONS PLAN", SCALE 1"=40", DATED 04/09/2024, BY BISON.
37. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION IN THE BIDDING PROCESS.
38. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC WATER.
39. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC SEWER.
40. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
41. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAPPING AND FIELD OBSERVATIONS.
42. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
43. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
44. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
45. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
46. THE CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
47. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
48. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
49. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
50. VERTICAL DATUM IS NAVD 88.
51. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT AGENT PRIOR TO THE START OF WORK ON THE SITE.
52. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SITING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PADEP AND THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM. THE LATEST EDITION, IN ADDITION, THE CONTRACTOR SHALL STAYLYZE REFERENCE TO SEDIMENT AND EROSION CONTROL CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
53. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE PROJECT SPECIFICATIONS MANUAL. UNLESS OTHERWISE STATED, THIS WORK SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
54. ALL DISTURBANCE INCURRED TO MUNICIPAL COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
55. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
56. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY ARCHITECT AND/OR MEP ENGINEER FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
57. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO DETERMINE TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
58. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
59. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
60. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
61. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT, AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
62. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
63. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASTING OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND/OR CIVIL ENGINEER.
64. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
65. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABILE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED FOR THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
66. CONTRACTOR TO PROVIDE STEEL SLEEVES, OR APPROVED EQUAL IN ACCORDANCE WITH ARCHITECTURE PLANS, AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
67. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
68. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
69. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASING. AN 18-INCH TO 6-INCH MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN SANITARY SEWER PIPING AND STORM PIPING UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS.
70. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART. WHENEVER POSSIBLE, WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
71. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAWN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
72. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
73. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
74. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
75. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
76. ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL THE 2" PVC CONDUITS FOR TELECOMMUNICATIONS SERVICES AND THE 1" PVC CONDUITS FOR ELECTRIC SERVICE PIPES. PVC CONDUITS SHALL BE SET IN CONCRETE CONDUIT BOXES. 40" X 40" PAVEMENT AREAS CONDUITS MAY BE INSTALLED IN A COMMON DITCH WITH 12" CLEAR SPACE BETWEEN, MINIMUM. 16" X 24" IN ELECTRIC CONDUITS, AND 24" X 24" TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE REDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASTMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
77. ALL WATER LINES TO HAVE A MINIMUM COVER OF THREE (3) FEET. ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
78. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
79. THE CONTRACTOR SHALL MAINTAIN ALL FLUIDS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
80. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
81. PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
82. CAST IRON SOIL PIPE (CISP) AND FITTINGS SHALL BE EXTRA HEAVY BELL & SPIGOT WITH NEOPRENE GASKET JOINTS IN ACCORDANCE WITH ASTM A74 & C564-(LATEST REVISION).
83. POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
84. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76. ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL BE WATERTIGHT AND CONFORM TO THE REQUIREMENTS OF ASTM C-443.
85. ALUMINIZED STEEL STORM SEWER PIPING SHALL BE CORROUGATED 16 GAUGE TYPE 2 ALUMINIZED STEEL PIPE. N= .013 IN UP TO .36" DIAMETER AND SHALL BE 14 GAUGE TYPE 2 A.S.P. FOR PIPES .36" AND LARGER THAN .36" DIAMETER. ALL PIPE TO HAVE CONTINUOUS CORROUGATION BAND COUPLINGS WITH BAR AND STRAP CONNECTIONS AND GASKETS.
86. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
87. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORROUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO Z25, WATERTIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
88. DUCTILE IRON PIPE FOR STORM DRAINAGE PIPING SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A11.2. DI STORM PIPE SHALL BE PUSH ON JOINT WITH RUBBER GASKET.
89. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
90. PE WATER PIPING SHALL CONFORM TO AWWA C900.
91. POLYVINYL CHLORIDE (PVC) PIPE FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
92. DUCTILE IRON PIPE SHALL CONFORM TO LOCAL JURISDICTION OR AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER CARRYING AND SEWAGE CONDUITS. MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO Z25, WATERTIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING. PIPES SHALL NOT EXCEED A LENGTH OF 20 FEET. PIPES SHALL BE CUT IN LIFT THICKNESS. PIPES SHALL BE CONNECTED WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.



GRAPHIC SCALE
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SCALE IN FEET

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No. 3 of 22



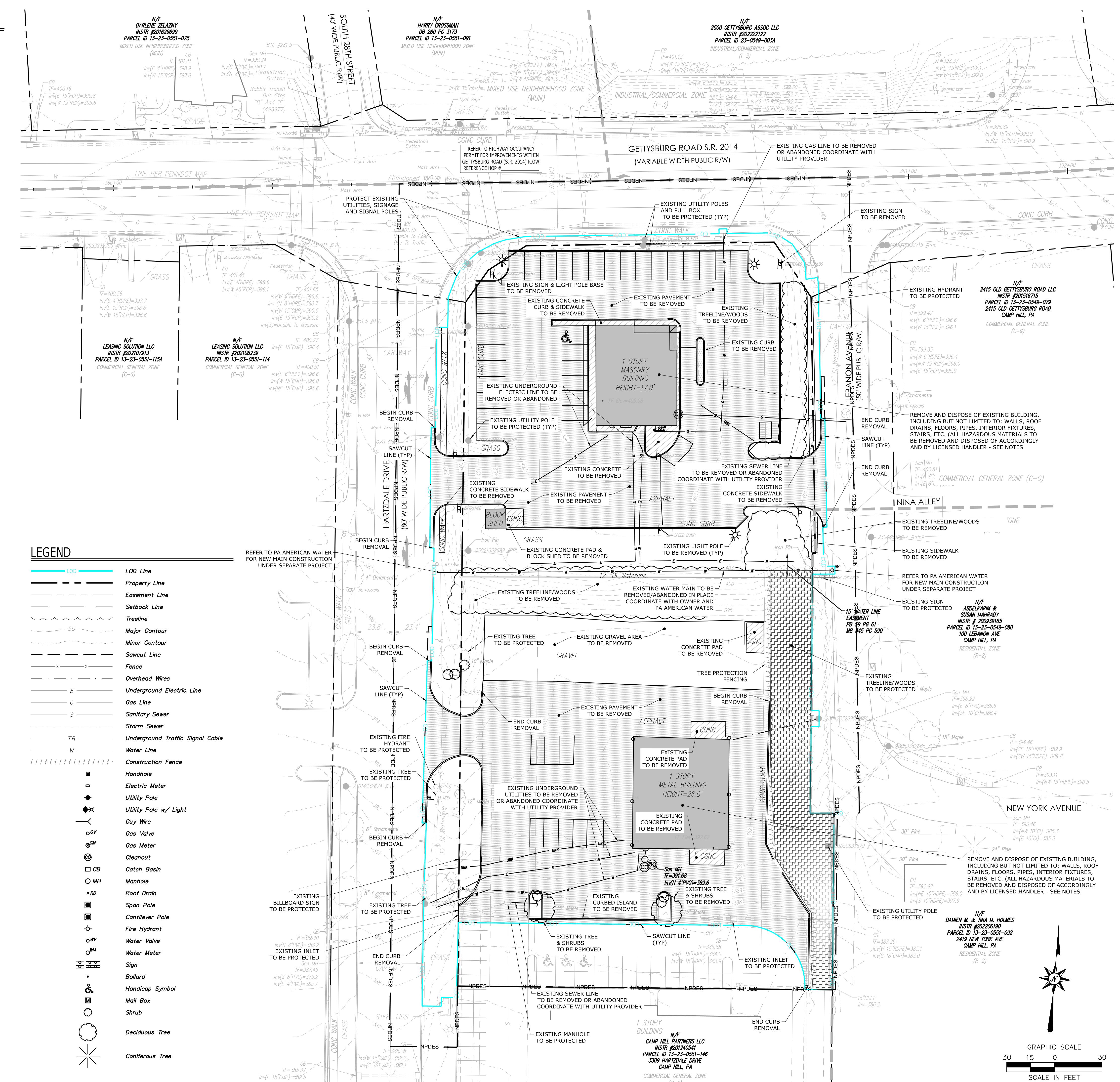


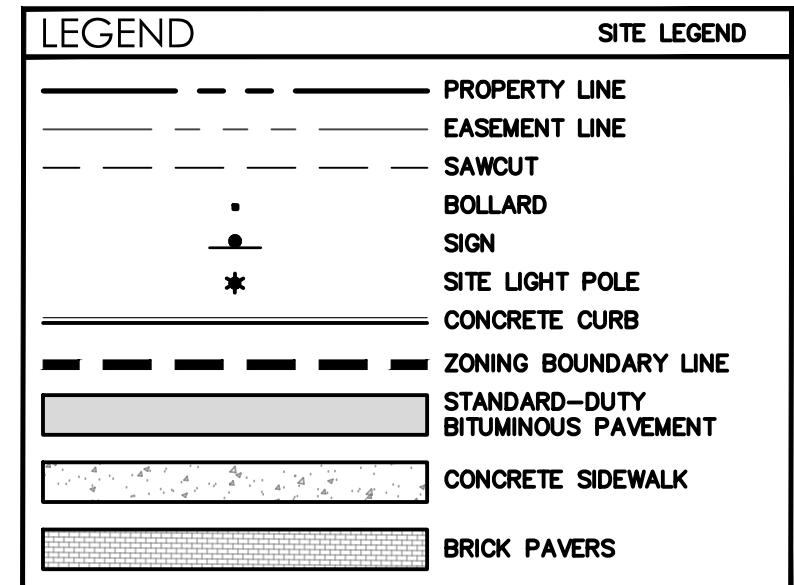
DEMOLITION NOTES

- ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THIS PLAN ARE TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK ON IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL ADHERE TO ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS AND DEFORMED TRAFFIC CONTROLLERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITY, OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LINES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY OWNER AND ADDRESS MAPS AND FIELD WORK. THIS PLAN NOT GUARANTEES THE PRESENCE OF ANY CONCEALED OR CROWNED UTILITIES AND STORM DRAINAGE SYSTEMS. SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES AND STORM DRAINAGE SYSTEMS. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEM 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE PENNSYLVANIA AMERICAN WATER COMPANY. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO R.O.W. LINE, UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY PENNSYLVANIA AMERICAN WATER COMPANY TO BE REMOVED TO MAIN.
- EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP SEWER AUTHORITY REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY LOWER ALLEN TOWNSHIP SEWER AUTHORITY.
- DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE UGI UTILITIES COMPANY REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
- THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE LOWER ALLEN TOWNSHIP ENGINEERING DEPARTMENT, COMCAST TELECOMMUNICATIONS COMPANY, UGI UTILITIES GAS COMPANY, PPL ELECTRIC UTILITIES CORPORATION, THE LOWER ALLEN TOWNSHIP SEWER AUTHORITY, AND PENNSYLVANIA AMERICAN WATER COMPANY AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE LOWER ALLEN TOWNSHIP BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED DEMOLITION AND PAY ALL FEES.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACK FILLED WITH GRAVEL, FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAY AS REQUIRED BY LOCAL GOVERNING AUTHORITIES PENNDOT/CUMBERLAND COUNTY/LOWER ALLEN TOWNSHIP AND PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, PAVEMENT MARKINGS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, PENNDOT/CUMBERLAND COUNTY/LOWER ALLEN TOWNSHIP.
- THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINARE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECIRCUITED OR Rewired AS NECESSARY TO REMAIN IN OPERATION.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PENNSYLVANIA ONE CALL SYSTEM MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE PADEP AND HEALTH CODE REQUIREMENTS.
- ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOBSITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY, AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- NO TREE CLEARING SHALL TAKE PLACE BETWEEN MAY 15TH AND AUGUST 15TH IN COMPLIANCE WITH THE AVOIDANCE MEASURE PROPOUNDED BY THE U.S. FISH AND WILDLIFE SERVICE.



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO THE OWNER FOR EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 2224040104, 20240401067 & 2024051229





ZONING INFORMATION

LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY

ZONE: C-2 - GENERAL COMMERCIAL DISTRICT, GROUNDWATER NONUSE OVERLAY DISTRICT

PROPOSED PROJECT LOT USE: CONVENIENCE STORE, FAST FOOD RESTAURANT, AND FUEL SALES
(PERMITTED USE) 457110 & 722513

ITEM #	ITEM	REQUIREMENTS	PROPOSED PROJECT LOT	SECTION	VARIANCE
1	MINIMUM LOT AREA	N/A	103,575 S.F. 2.38 ACRES	220-60.A	NO
2	MINIMUM LOT WIDTH	50 FEET	>220 FEET	220-60.B	NO
3	MINIMUM FRONT YARD	30 FEET	>30 FEET	220-61.A.1	NO
4	MINIMUM SIDE YARD	10 FEET	>10 FEET	220-61.A.2	NO
5	MINIMUM REAR YARD	35 FEET	>35 FEET	220-61.A.3	NO
6	MAXIMUM IMPERVIOUS COVERAGE	70 PERCENT (71,962 S.F.)	69.5 PERCENT* (71,962 S.F.)	220-58	NO
7	MAXIMUM BUILDING HEIGHT	50 FEET	<35 FEET	220-59	NO
8	FRONT YARD LANDSCAPING	5 PERCENT (42,096 S.F.)	24.7 PERCENT (10,394 S.F.)	220-200	NO

*EXISTING IMPERVIOUS COVERAGE IS NON-COMPLYING WITH 77,377 S.F. OF IMPERVIOUS AREA.

ADDITIONAL ZONING INFORMATION

- 220-201.C.1. A FRONT YARD SETBACK FOR ANY PARKING AREA EQUAL TO AT LEAST HALF OF THAT REQUIRED FOR THE RESIDENTIAL USE, BUT IN NO CASE LESS THAN 10 FEET, SHALL BE PROVIDED.
- 220-201.C.2. A WALL, HEDGE OR EARTHEN BERM SHALL BE PLACED ALONG THE PERIMETER OF THE PARKING AREA ADJACENT TO THE RESIDENTIAL USE, WITHIN A BUFFER YARD OF FIVE FEET, IN ADDITION TO THE REQUIRED YARD SETBACKS.
- 220-242.L.3. EXCEPT AT ENTRANCE AND EXIT DRIVES, THE PARKING AREA SHALL BE PHYSICALLY SEPARATED FROM ANY PUBLIC AND/OR PRIVATE STREETS WITH A MINIMUM SIX-FOOT-WIDE PLANTING STRIP.
- 220-201.B.1.b MAXIMUM SCREENING HEIGHT SHALL BE 8 FEET IN REAR AND SIDE YARDS.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED PROJECT LOT	SECTION	VARIANCE
1	BUILDING SIZE	N/A	4,966 S.F.	N/A	NO
2	PARKING REQUIRED	1 SPACE FOR EVERY 150 S.F. OF GFA (3,378 S.F.) = 23 SPACES FAST FOOD RESTAURANT: 1 SPACE FOR EVERY 30 S.F. OF GFA (1,500 S.F.) = 53 SPACES FUEL SALES: 1 SPACE PER 3 GASOLINE PUMPS (6) = 2 SPACES TOTAL REQUIRED = 78 SPACES	42 SPACES	220-239	SPECIAL EXEMPTION
3	ADA PARKING REQUIRED	2 ADA SPACES	2 ADA SPACES	220-238	NO
4	MINIMUM PARKING DIMENSION	9 FEET X 18 FEET 10 FEET X 20 FEET	10 FEET X 18 FEET 10 FEET X 20 FEET	220-242.L.1.a	NO
5	MINIMUM AISLE WIDTH	24 FEET	24 FEET	220-242.L.1.a	NO
6	FUEL PAD PARKING	NO PARKING BETWEEN FUEL PAD AND MAIN ENTRANCE	NONE	220-159	NO
7	INTERIOR LOT LANDSCAPING	5 PERCENT 10,712 x .05 = 535 S.F.	28.7 PERCENT (3,077 S.F.)	220-200.B.1	NO
8	OFF-STREET LOADING REQUIRED	6,000 OR LESS GROSS FLOOR AREA 1 SPACE	4,966 GFA < 6,000 GFA 1 SPACE	220-243.A.1	NO

ADDITIONAL PARKING INFORMATION

- 220-159 PARKING SHALL NOT BE PERMITTED BETWEEN THE MAIN ENTRANCE OF THE ESTABLISHMENT AND THE REFUELING BAYS, WHERE THE AREA BETWEEN THE MAIN ENTRANCE AND THE PARKING BAYS IS PAVED, A NO PARKING LANE SHALL BE ESTABLISHED.
- 220-240 PROVIDE 6 VEHICLE STACKING LENGTHS BEHIND MENU BOARD AND PROVIDE 4 VEHICLE STACKING LENGTHS BEHIND ORDER WINDOW. FUEL PAD AREA SHALL PROVIDE 2 VEHICLE STACKING LENGTHS AT FUEL PUMPS EXCLUDING THE PUMPING AREA.
- 220-242.A.1. ALL PARKING SPACES AND ACCESS DRIVES SHALL BE AT LEAST 10 FEET FROM ANY MULTIFAMILY DWELLING OR NONRESIDENTIAL BUILDING ON THE LOT.

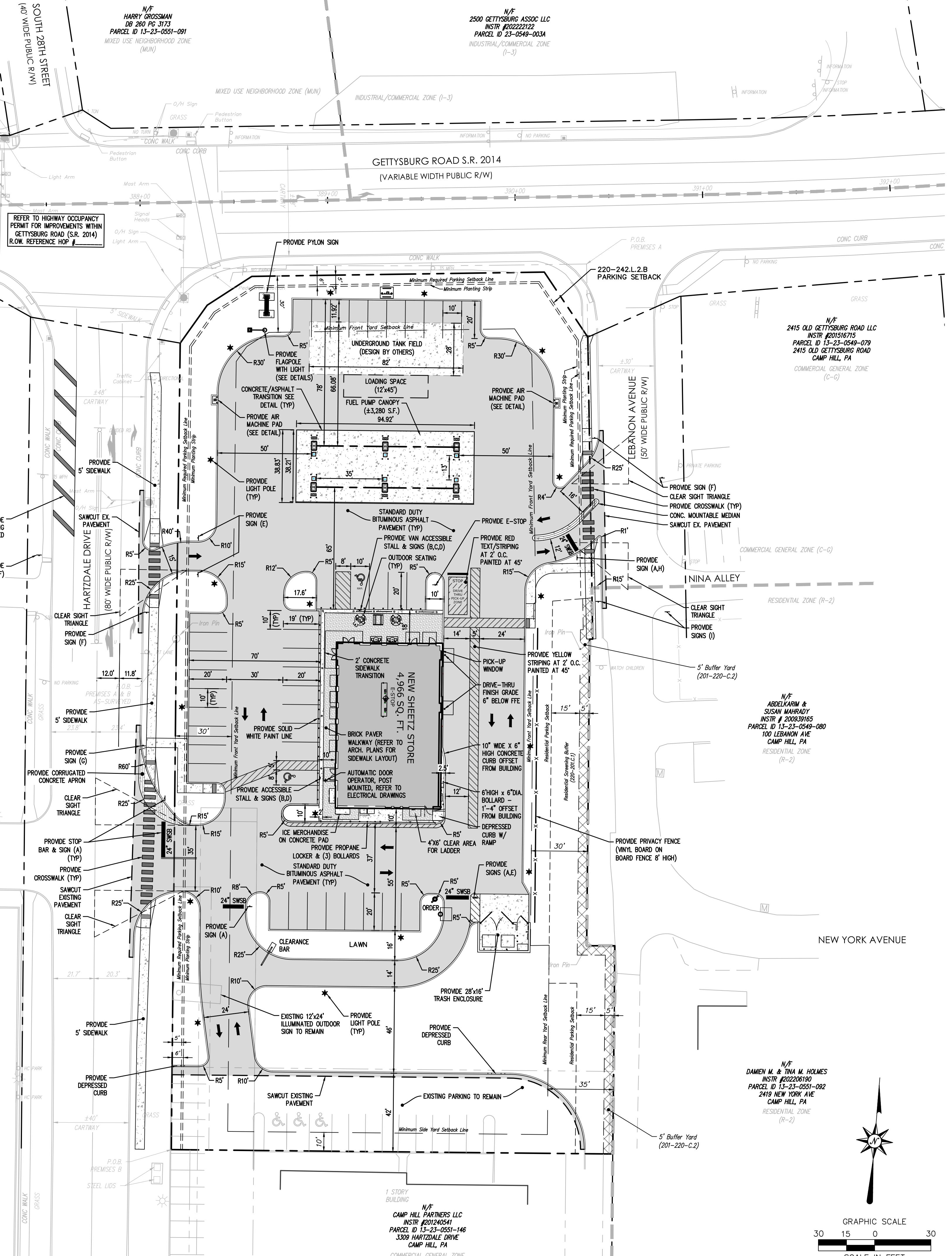
CIRCULATION AND SITE USE NOTES

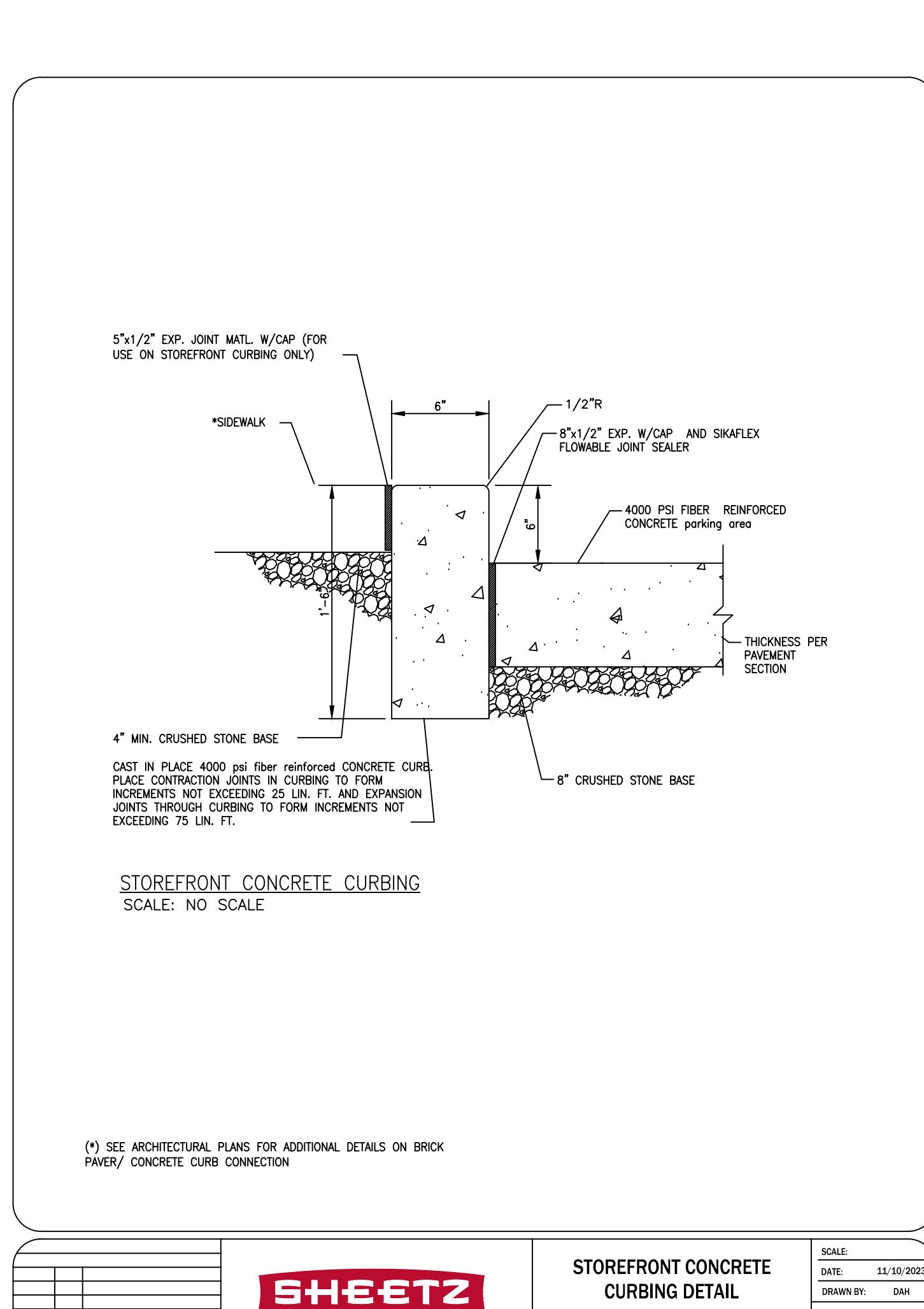
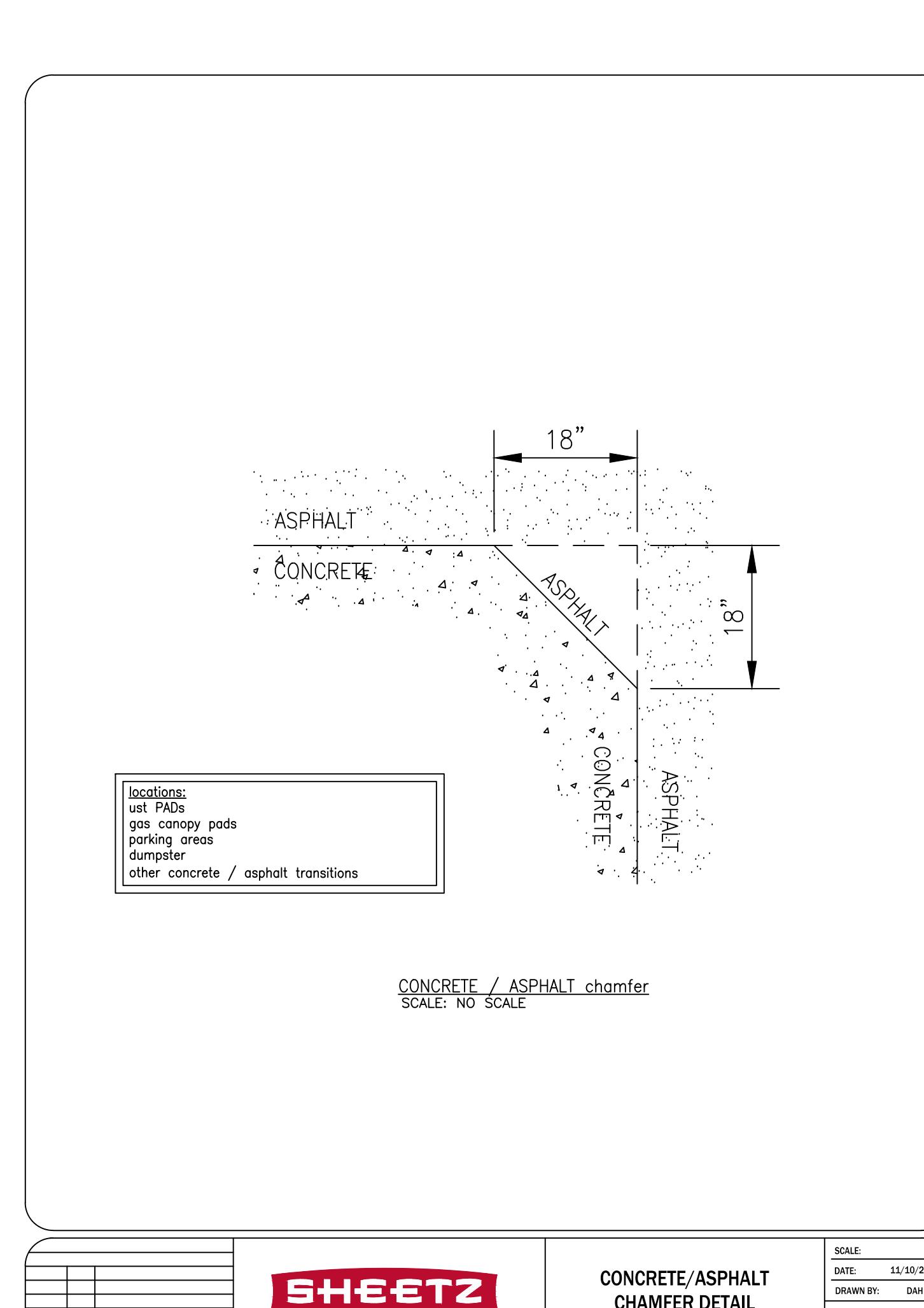
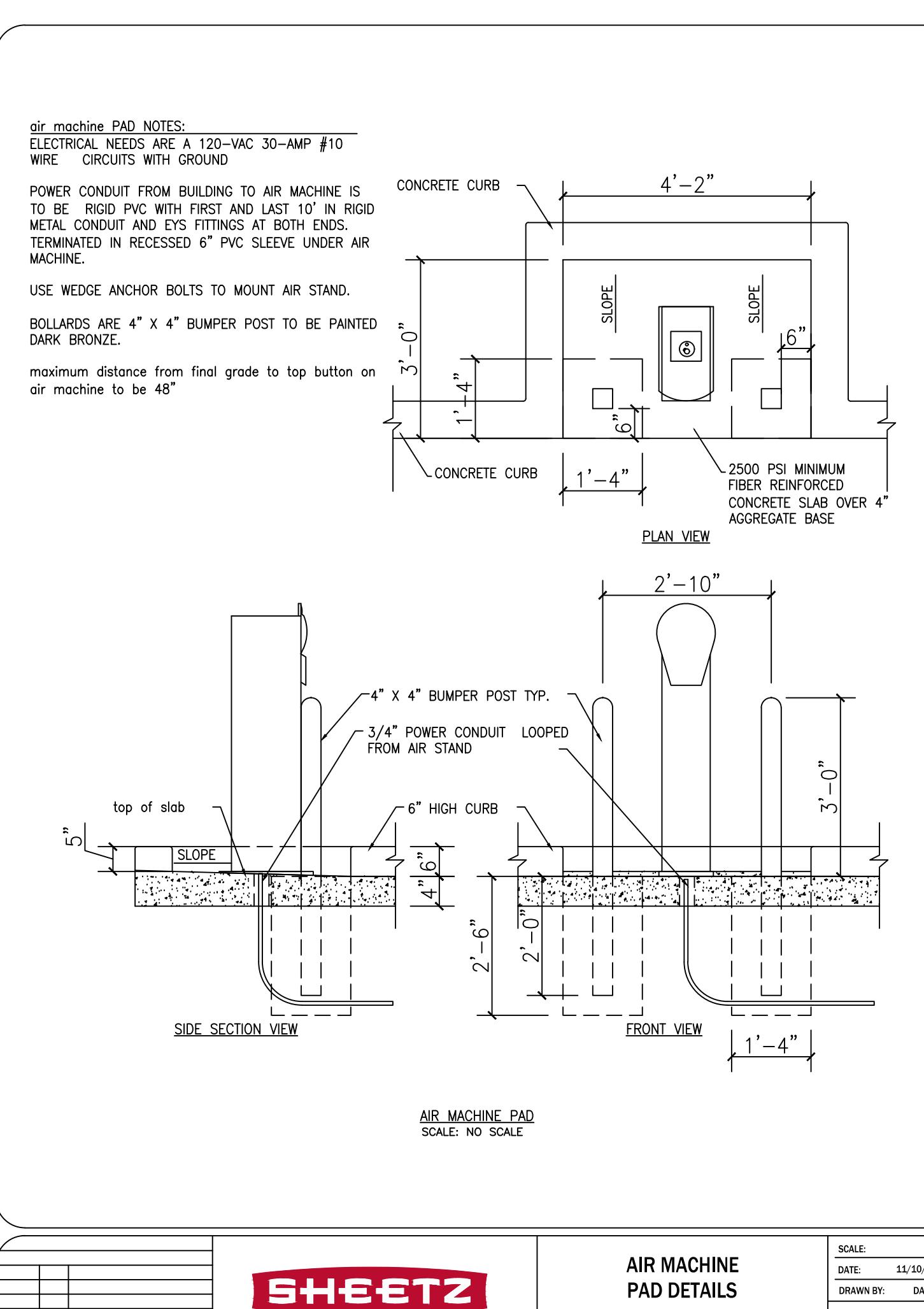
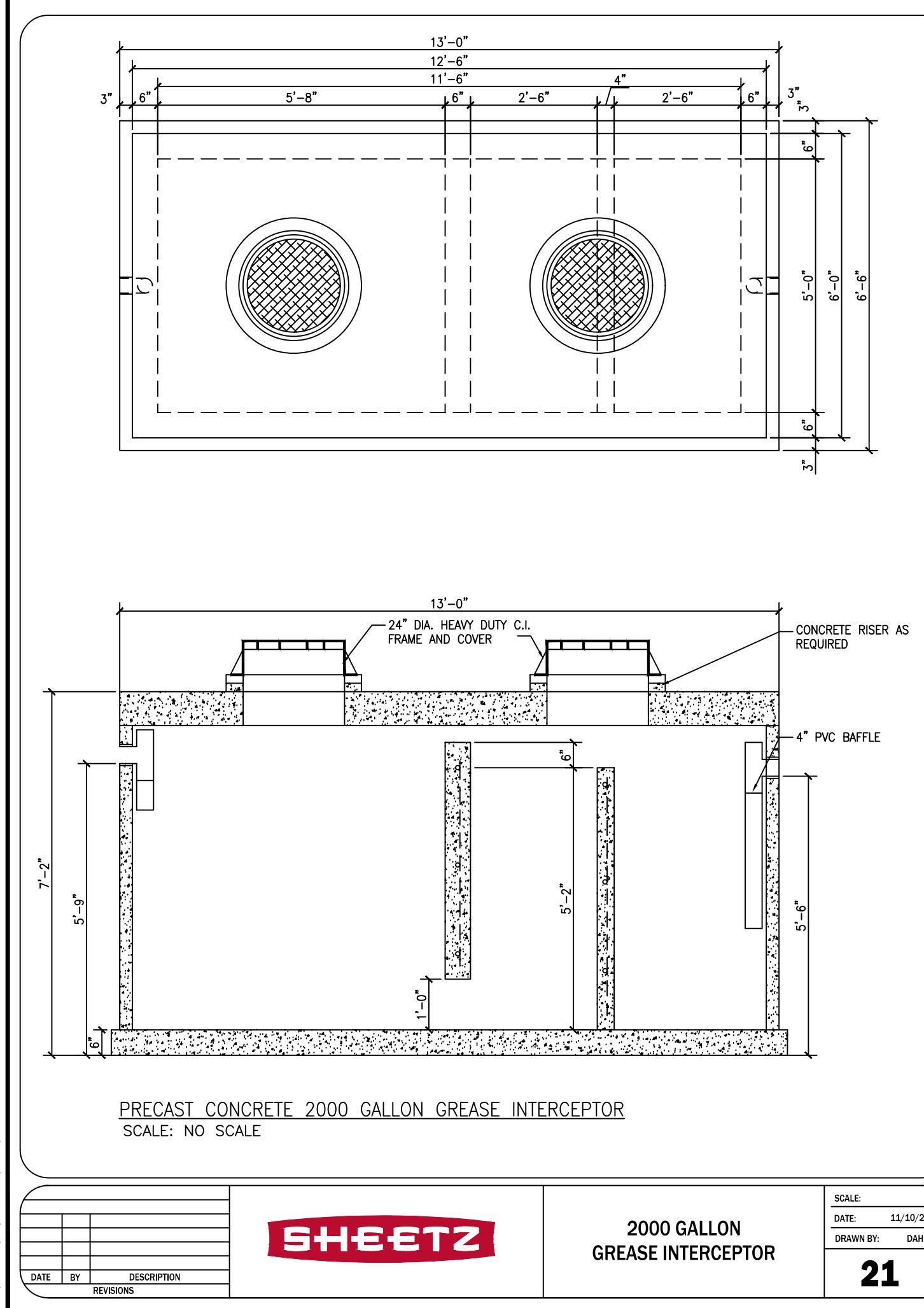
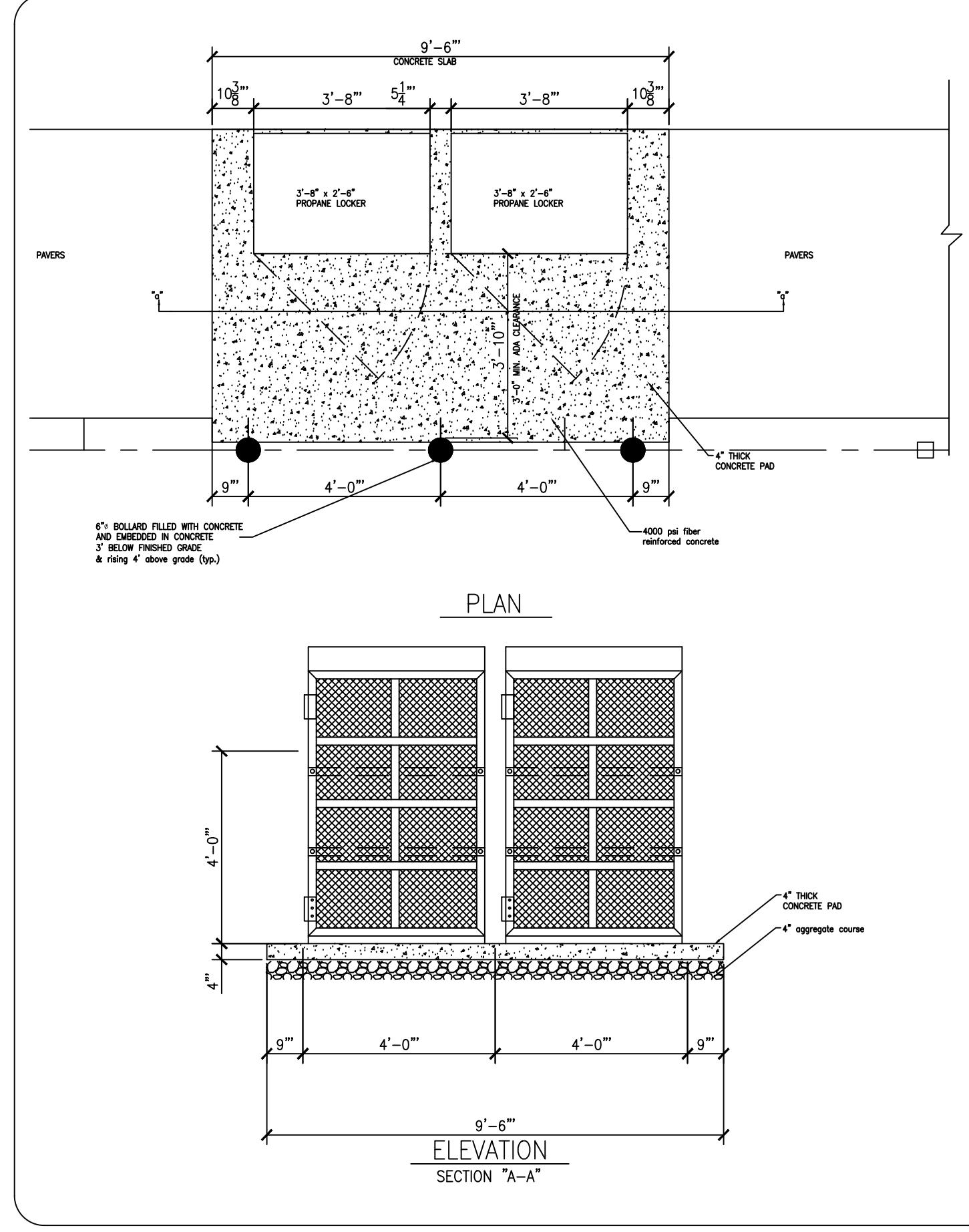
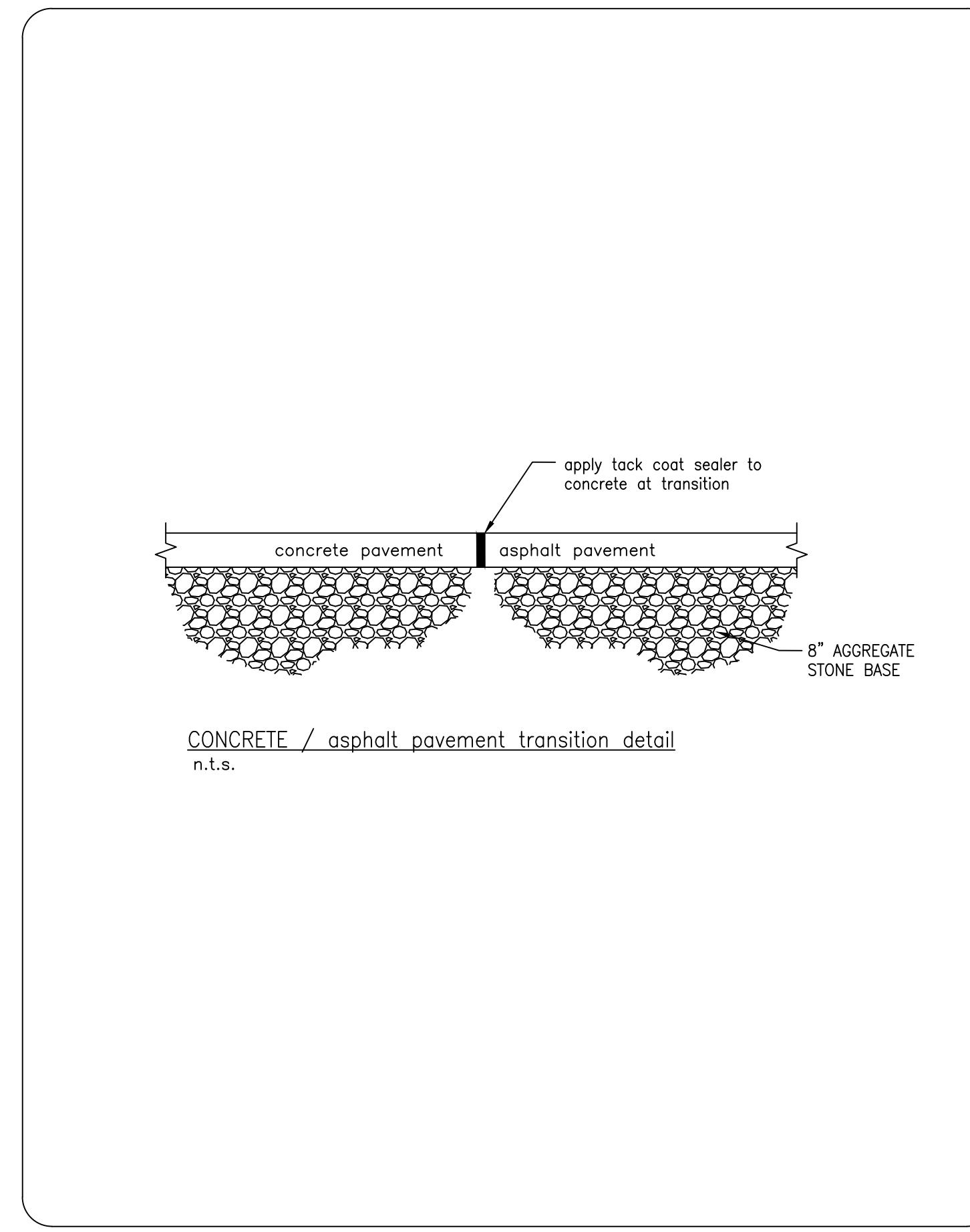
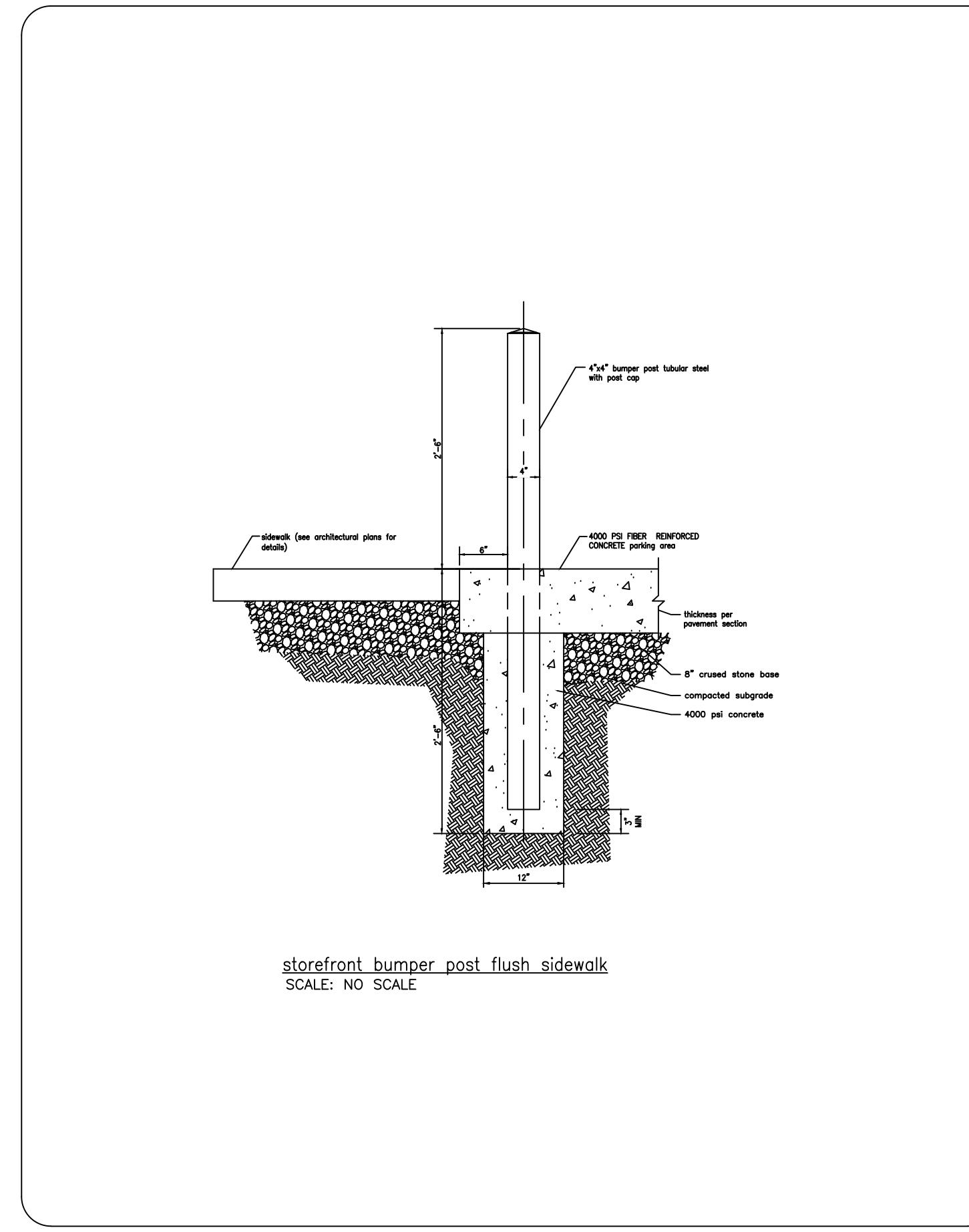
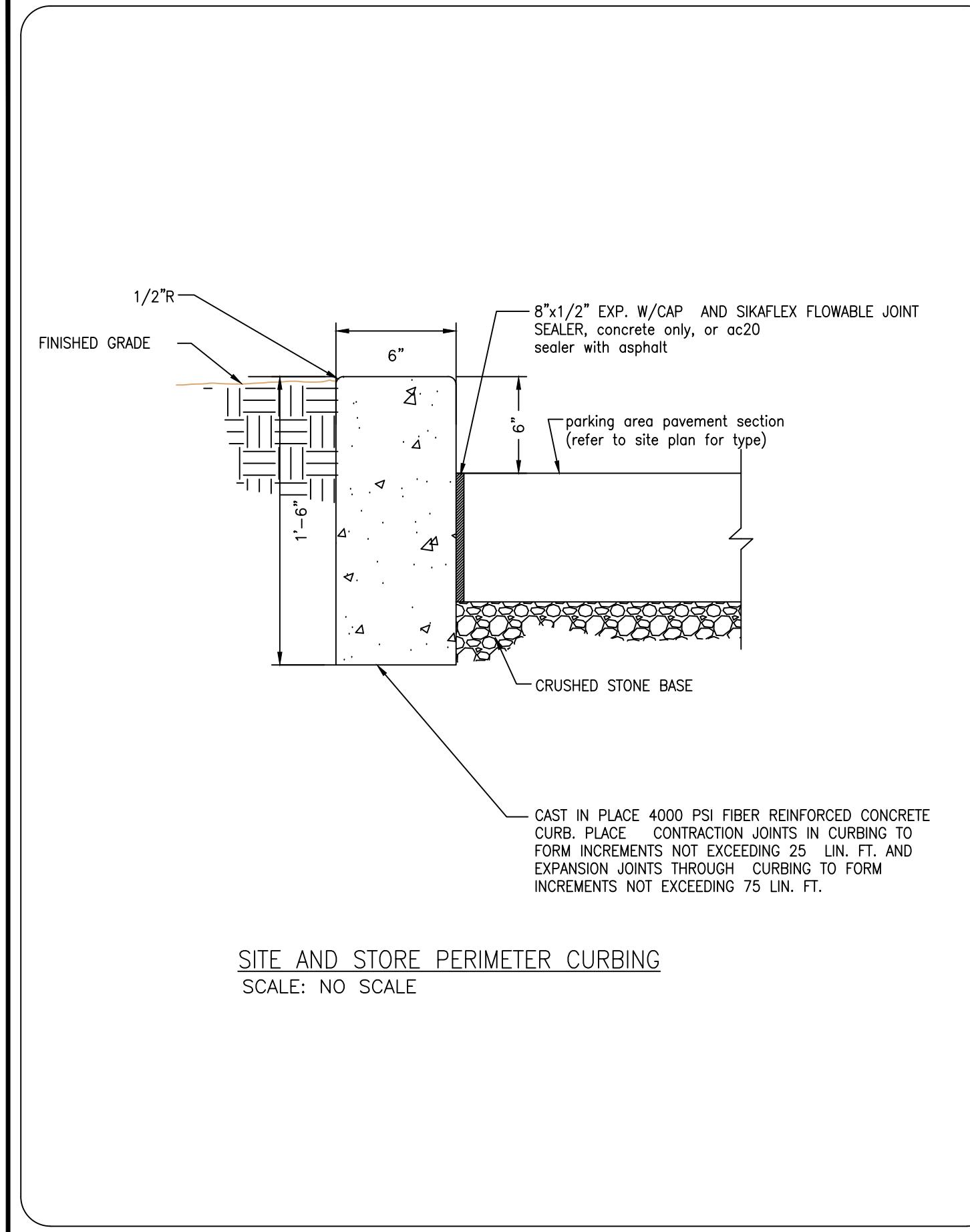
- DELIVERY AND FUELING TRUCKS SHALL NOT BE PERMITTED TO USE THE ACCESS ONTO LEBANON AVENUE. USER SHALL COORDINATE DELIVER AND FUELING ROUTES AS NECESSARY.
- OUTDOOR SPEAKERS FOR MUSIC AND ANNOUNCEMENTS SHALL NOT BE UTILIZED BETWEEN THE HOURS OF SATURDAY 8PM TO 8AM.

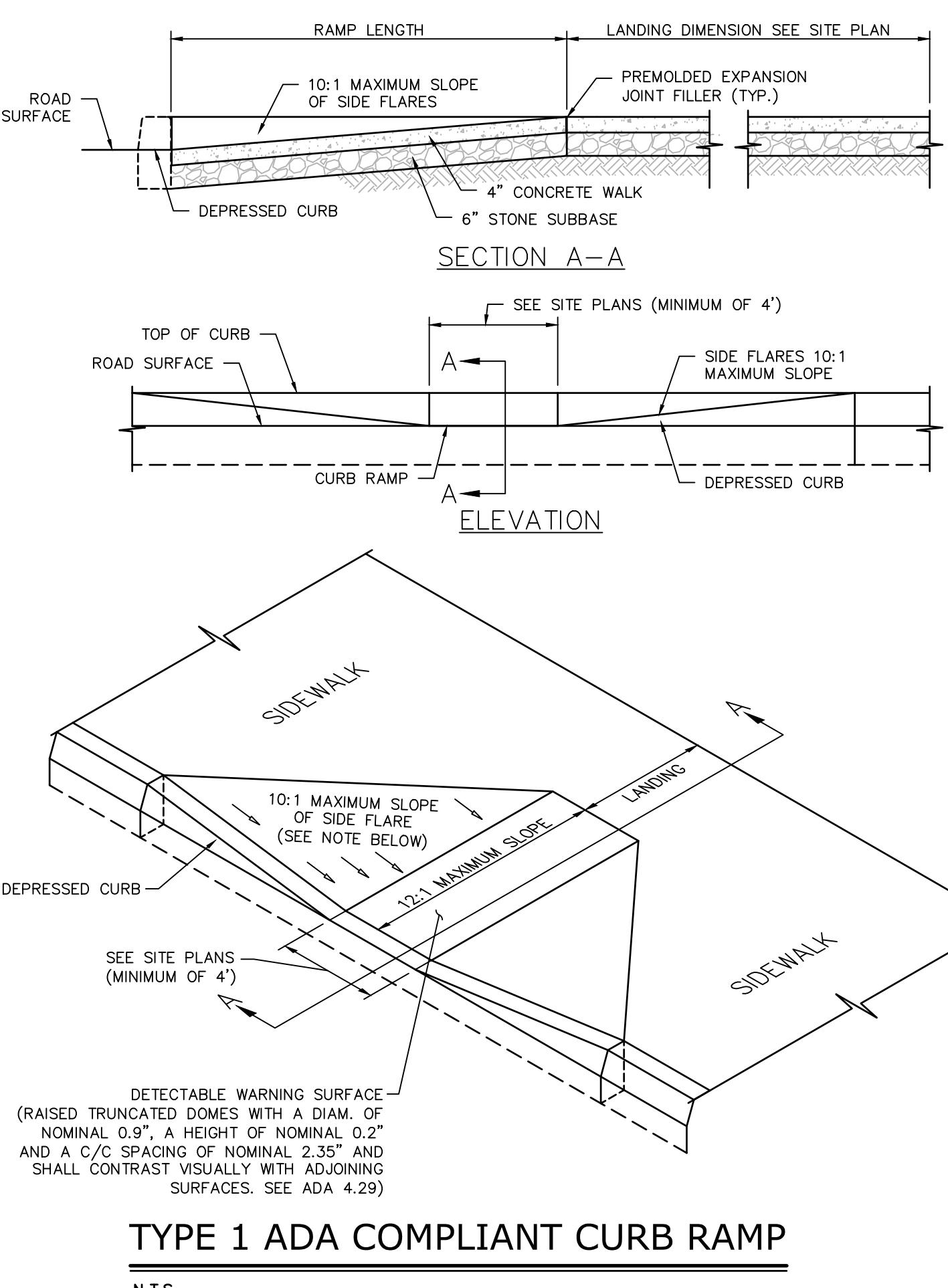
Direction	Posted Speed (mph)	Grade ¹	Sight Distances (feet)		
			DES	SSSD	EXIST
Hartzdale Drive & Full-Movement Site Driveway					
Exiting Movements	To the Left	35 mph	+2%	440'	242' 500'+
	To the Right	35 mph	-2%	350'	256' 320' ²
Entering Left Turns	Approaching same direction	35 mph	-2%	N/A	256' 320' ²
	Approaching opposite direction	35 mph	+2%	300'	242' 500'+
Lebanon Avenue & Full-Movement Site Driveway					
Exiting Movements	To the Left	25 mph	-1%	250'	148' 165' ²
	To the Right	25 mph	+2%	195'	144' 200'
Entering Left Turns	Approaching same direction	25 mph	+2%	N/A	144' 200'
	Approaching opposite direction	25 mph	-1%	190'	148' 165' ²

DES = PennDOT Desirable Sight Distance
SSSD = PennDOT Safe Stopping Sight Distance
EXIST = Existing (measured) Sight Distance

1 = Roadway Grade Approaching Driveway
2 = Distance to/from Gettysburg Road (SR 2014)

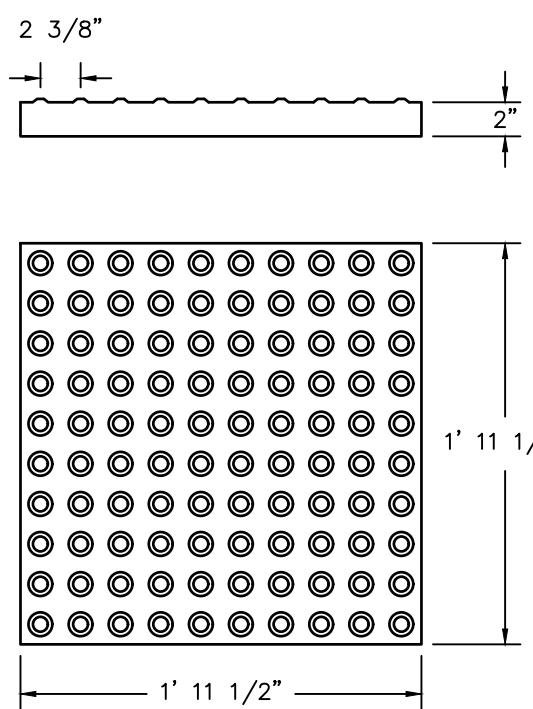




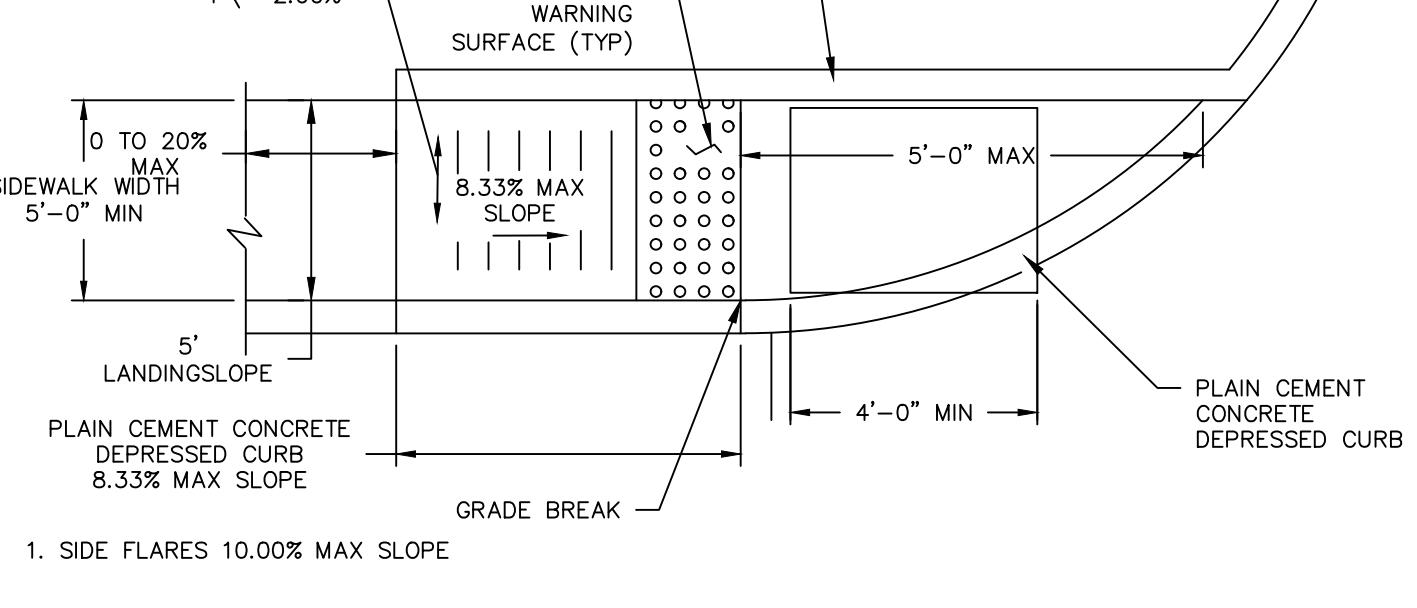


TYPE 1 ADA COMPLIANT CURB RAMP

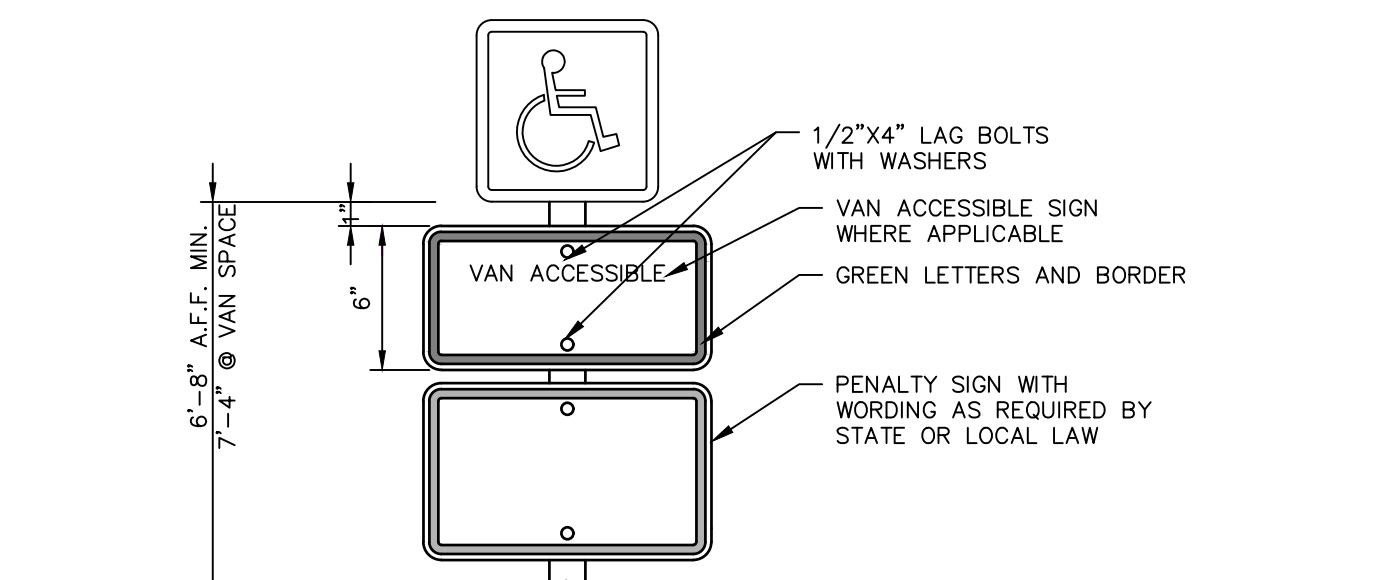
BY HANOVER ARCHITECTURAL PRODUCTS
240 BENDER ROAD, HANOVER, PA 17331
717-637-0500, <http://www.hanoverpavers.com>.



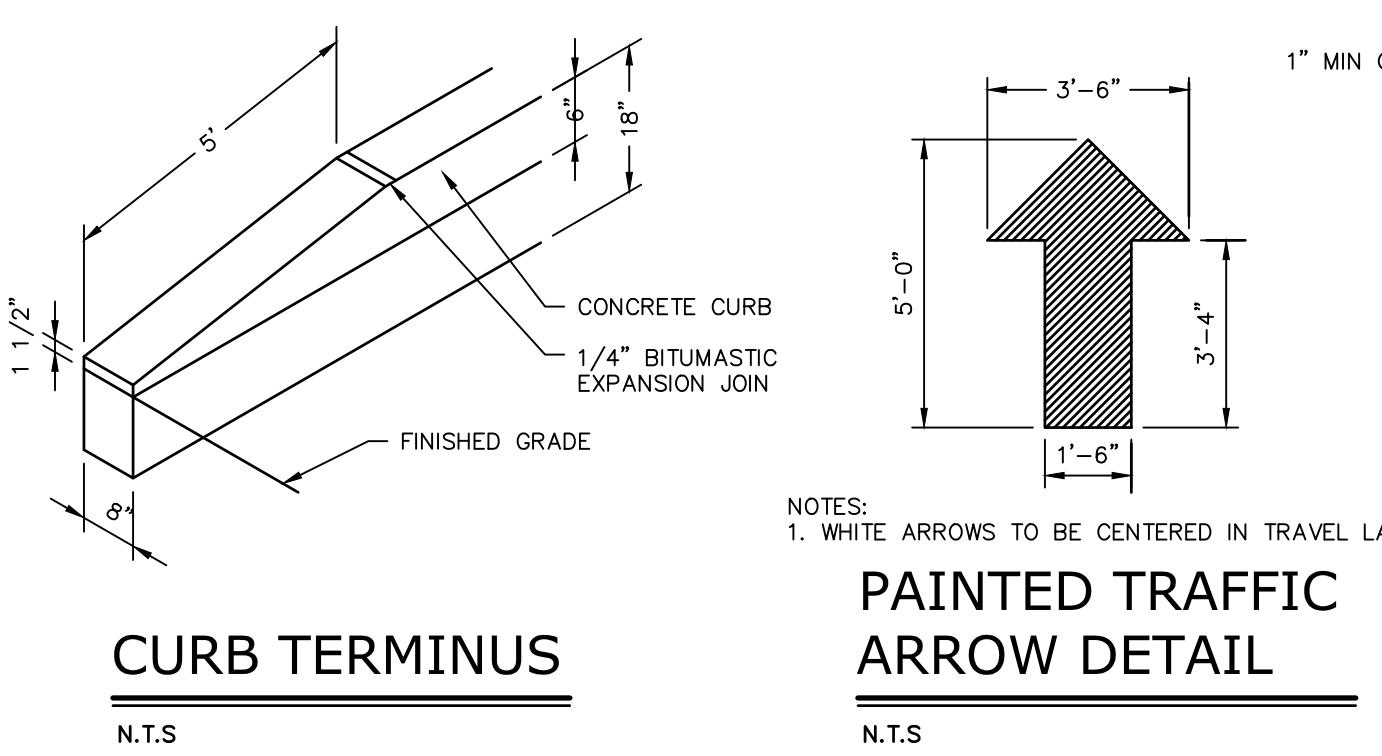
YELLOW ADA DETECTABLE WARNING
TRUNCATED DOME PAVERS DETAIL



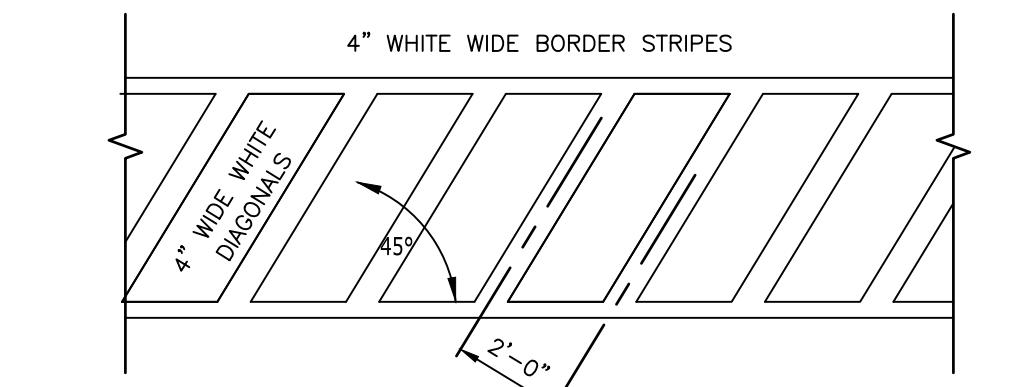
TYPE 1A CURB RAMP



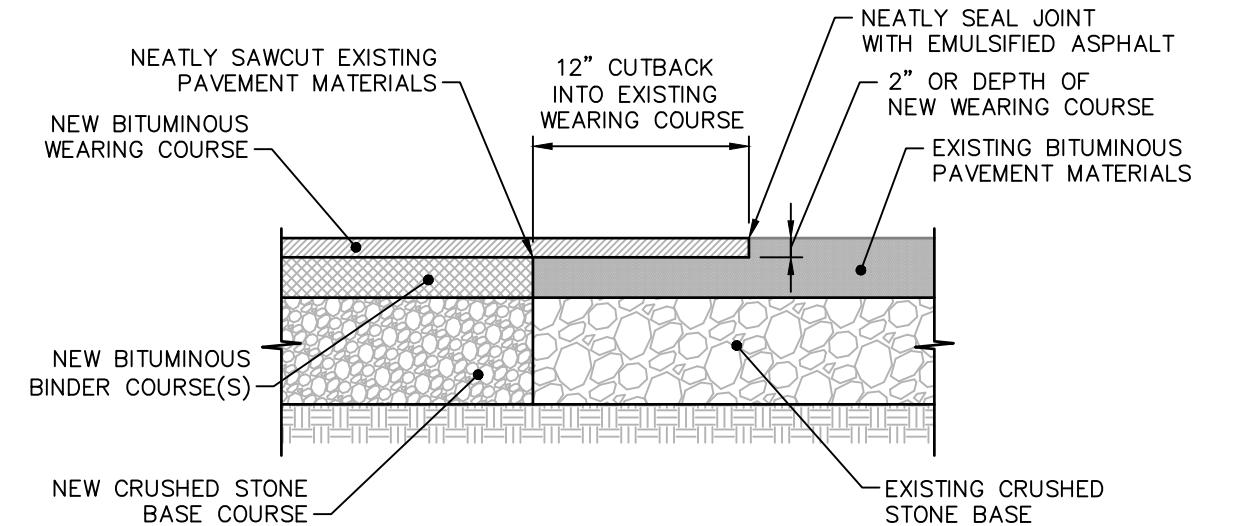
TYPICAL ADA ACCESSIBLE SIGN



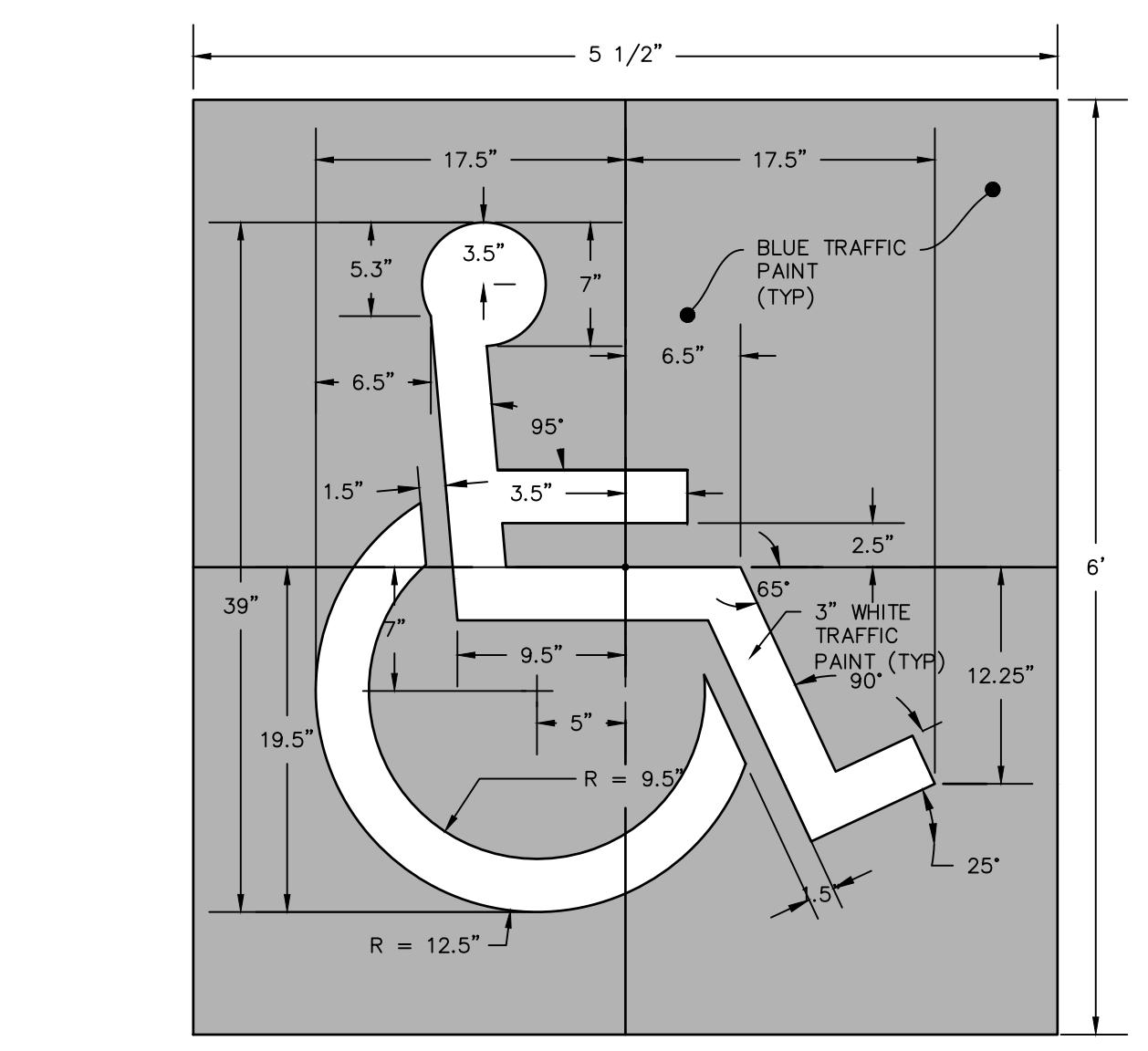
PAINTED TRAFFIC
ARROW DETAIL



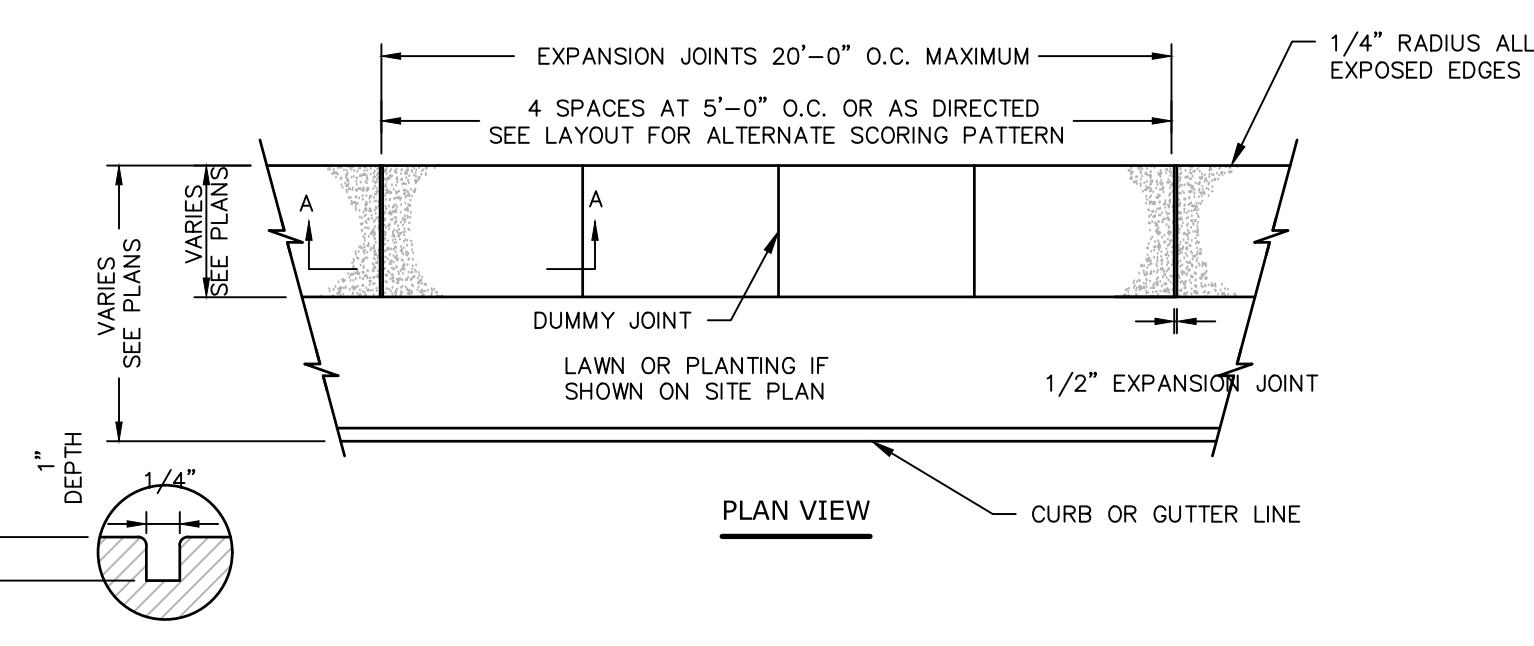
PAINT STRIPING DETAIL



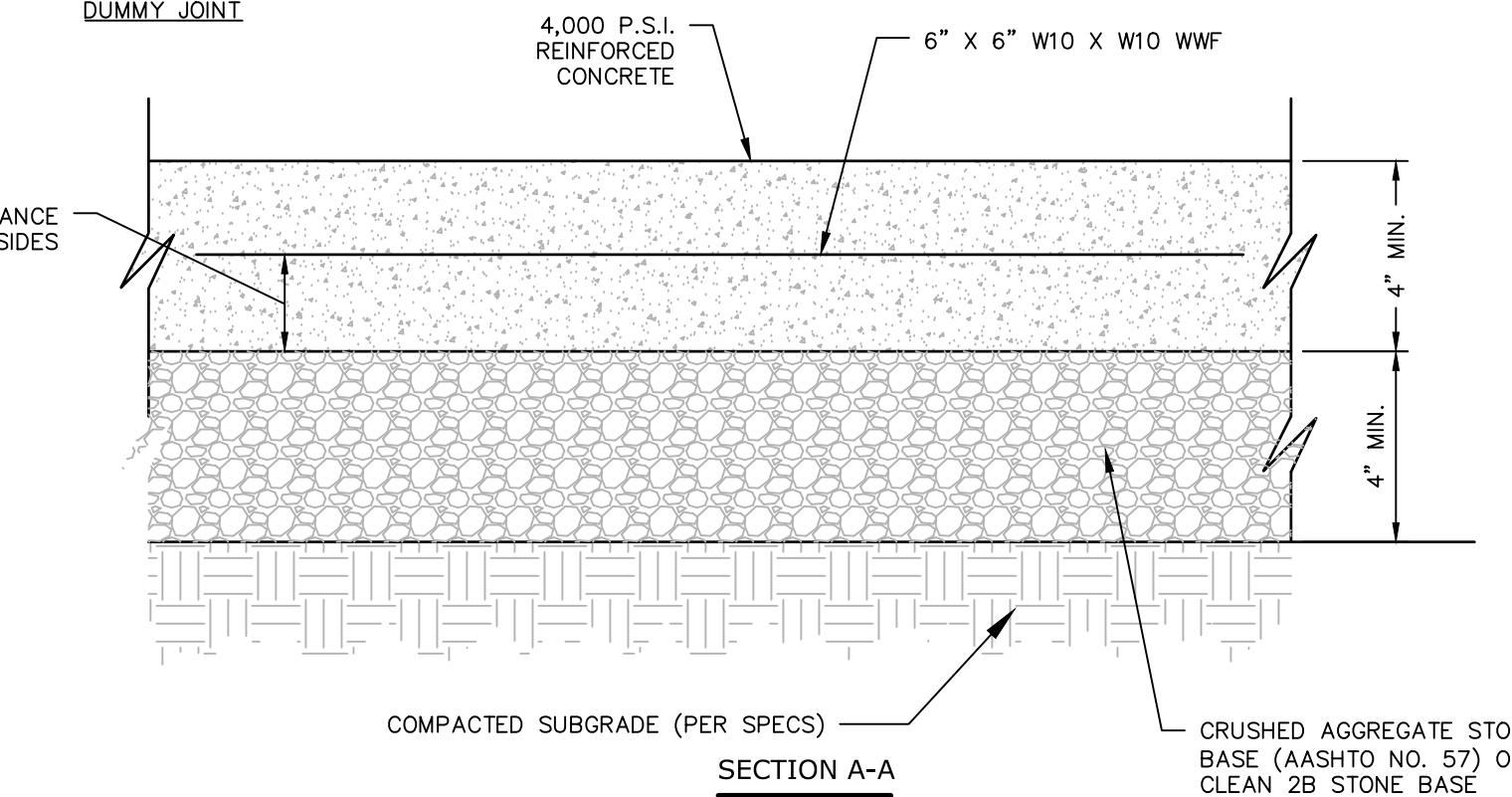
PAVEMENT JOINT WITH CUTBACK



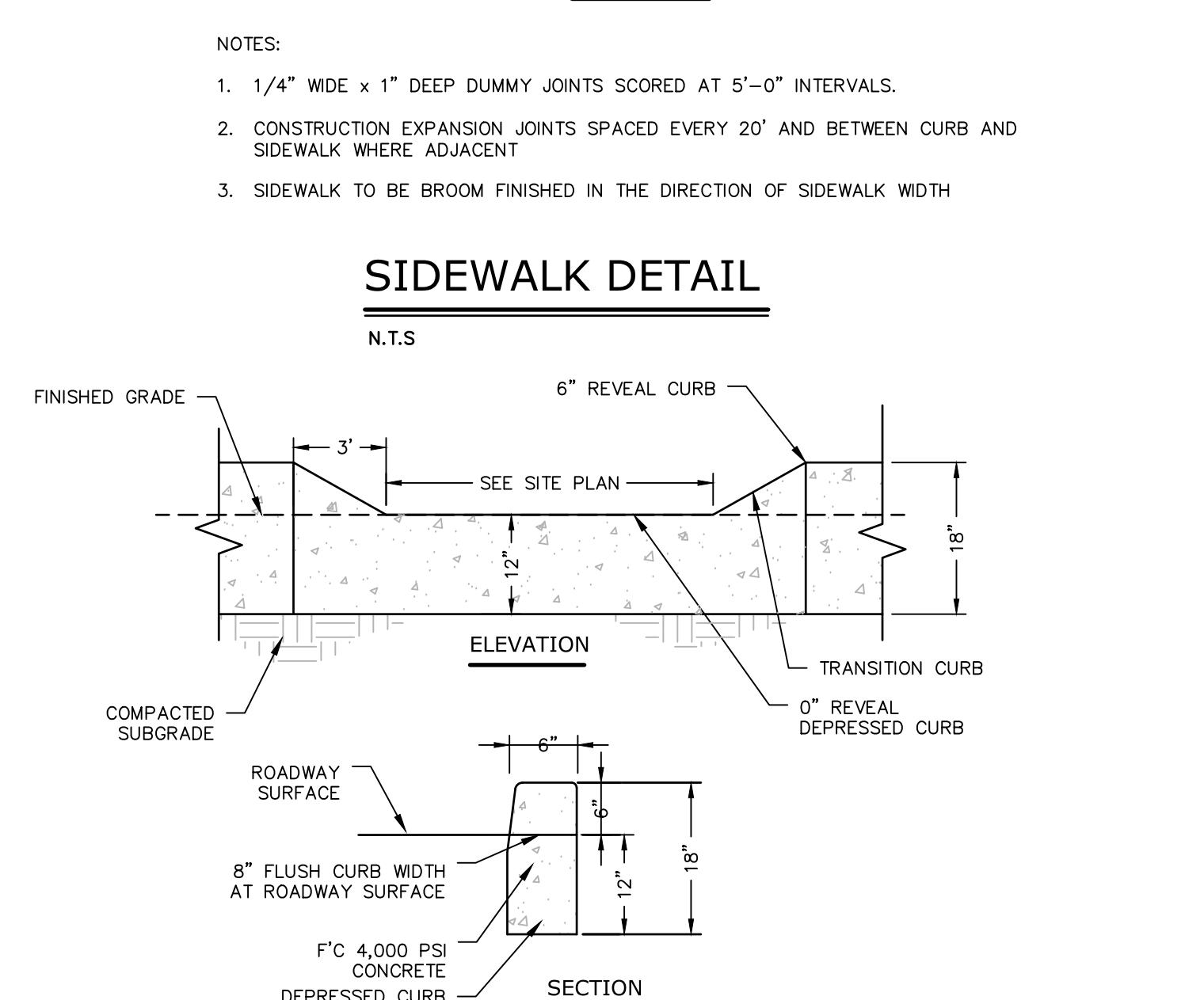
ADA ACCESSIBLE SYMBOL



PLAIN CEMENT CONCRETE CURB - TRANSITION

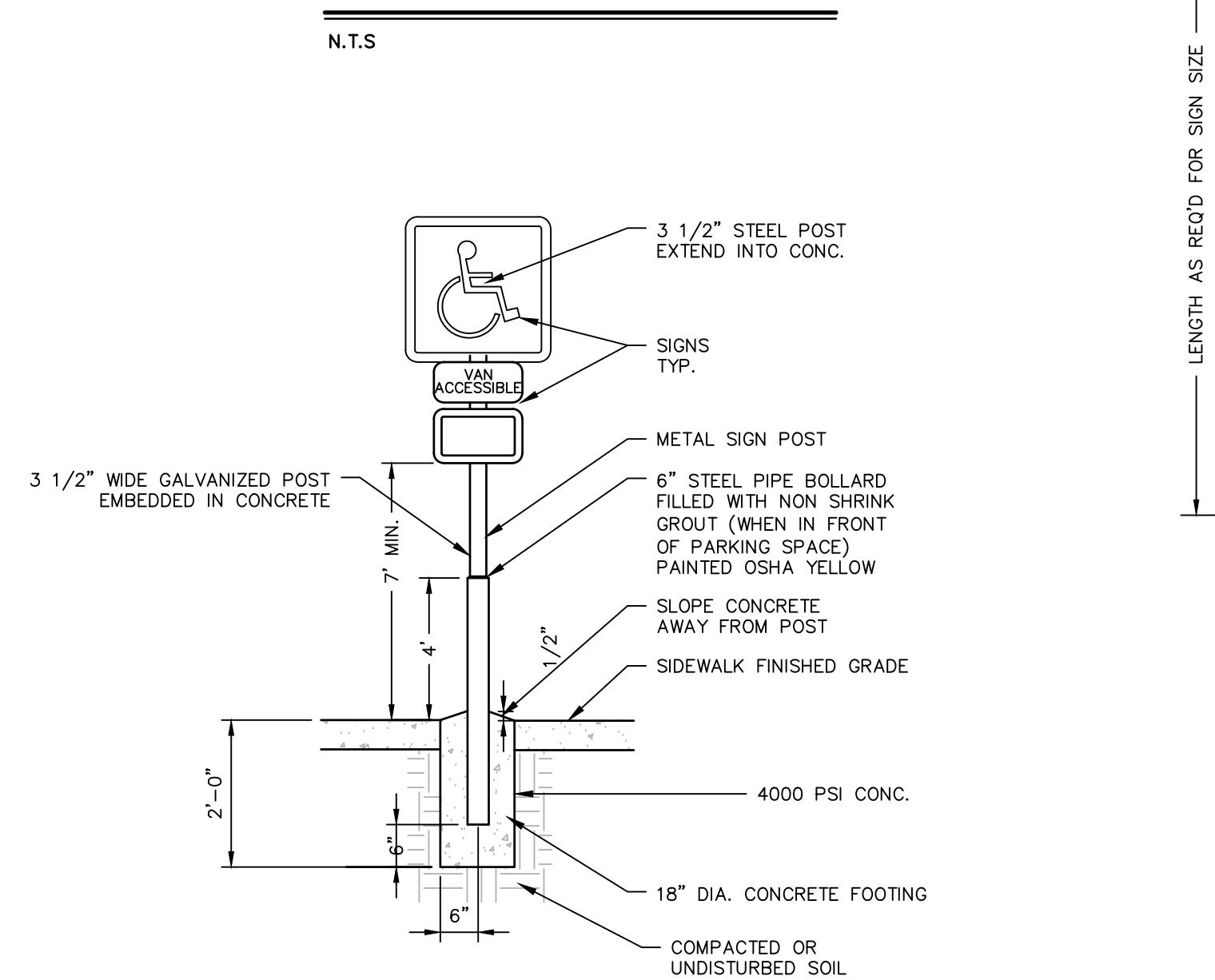


CONCRETE CURB TRANSITION AT INLET SUMP

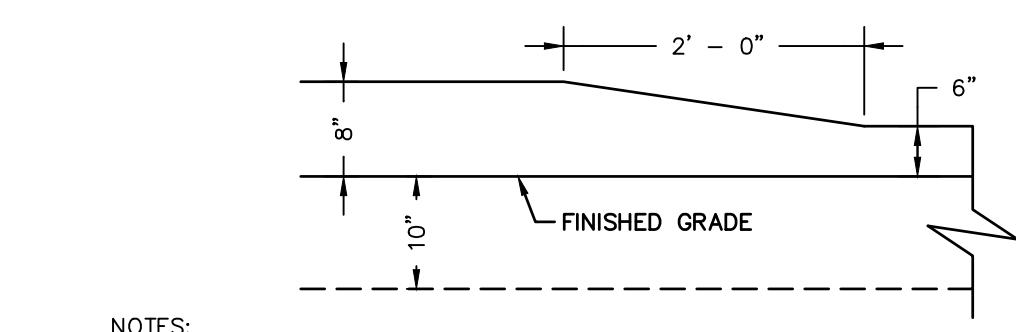


SIDEWALK DETAIL

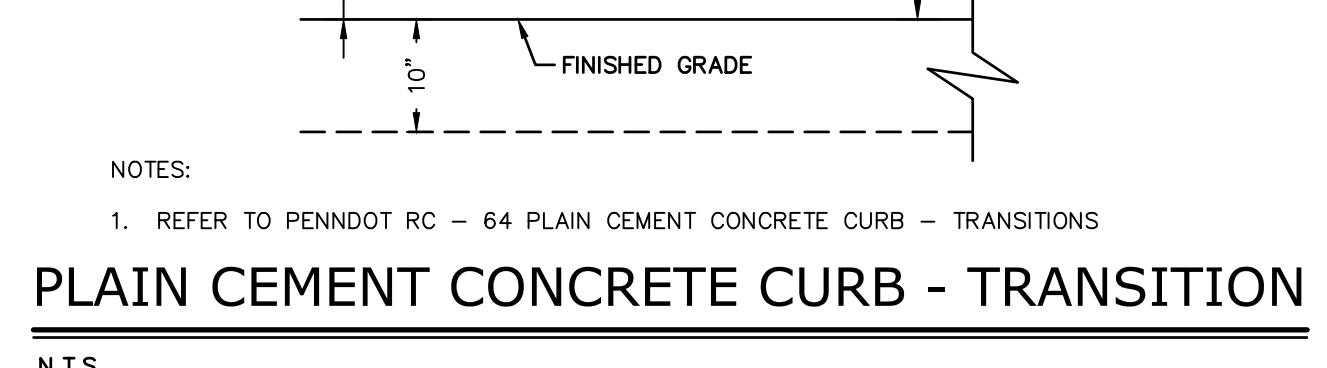
6" REVEAL DEPRESSED/
CONCRETE CURB



6" CONCRETE FILLED STEEL PIPE SIGN POST



TYPICAL METAL SIGN POST



1. REFER TO PENNDOT RC - 64 PLAIN CEMENT CONCRETE CURB - TRANSITIONS

NOTES:

2. SEE PLAN FOR ALTERNATE SCORING PATTERN

3. DUMMY JOINT

4. SPACES AT 5'-0" O.C. OR AS DIRECTED

SEE LAYOUT FOR ALTERNATE SCORING PATTERN

5. EXPANSION JOINTS 20'-0" O.C. MAXIMUM

6. 1/4" RADIUS ALL EXPOSED EDGES

7. 1/2" X 4" LAG BOLTS WITH WASHERS

8. VAN ACCESSIBLE SIGN WHERE APPLICABLE

9. GREEN LETTERS AND BORDER

10. PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

11. VARIES SEE PLANS

12. DUMMY JOINT

13. DUMMIES JOINT

14. LAWN OR PLANTING IF SHOWN ON SITE PLAN

15. 1/2" EXPANSION JOINT

16. 1" DEPTH

17. VARIES SEE PLANS

18. DUMMY JOINT

19. 4,000 P.S.I. REINFORCED CONCRETE

20. 6" X 6" W10 X W10 WWF

21. 4" MIN.

22. 1" MIN. CLEARANCE ALL SIDES

23. COMPACTED SUBGRADE (PER SPECS)

24. CRUSHED AGGREGATE STONE BASE (AASHTO NO. 57) OR CLEAN 2B STONE BASE

25. SECTION A-A

26. NOTES:

27. 1. 1/4" WIDE X 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.

28. 2. CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT

29. 3. SIDEWALK TO BE BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH

30. 4. 1/4" RADIUS ALL EXPOSED EDGES

31. 5. EXPANSION JOINTS 20'-0" O.C. MAXIMUM

32. 6. 1/4" RADIUS ALL EXPOSED EDGES

33. 7. 1/2" X 4" LAG BOLTS WITH WASHERS

34. 8. VAN ACCESSIBLE SIGN WHERE APPLICABLE

35. 9. GREEN LETTERS AND BORDER

36. 10. PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

37. 11. VARIES SEE PLANS

38. 12. DUMMY JOINT

39. 13. DUMMIES JOINT

40. 14. LAWN OR PLANTING IF SHOWN ON SITE PLAN

41. 15. 1/2" EXPANSION JOINT

42. 16. 1" DEPTH

43. 17. VARIES SEE PLANS

44. 18. DUMMY JOINT

45. 19. 4,000 P.S.I. REINFORCED CONCRETE

46. 20. 6" X 6" W10 X W10 WWF

47. 21. 4" MIN.

48. 22. 1" MIN. CLEARANCE ALL SIDES

49. 23. COMPACTED SUBGRADE (PER SPECS)

50. 24. CRUSHED AGGREGATE STONE BASE (AASHTO NO. 57) OR CLEAN 2B STONE BASE

51. 25. SECTION A-A

52. 26. NOTES:

53. 1. 1/4" WIDE X 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.

54. 2. CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT

55. 3. SIDEWALK TO BE BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH

56. 4. 1/4" RADIUS ALL EXPOSED EDGES

57. 5. EXPANSION JOINTS 20'-0" O.C. MAXIMUM

58. 6. 1/4" RADIUS ALL EXPOSED EDGES

59. 7. 1/2" X 4" LAG BOLTS WITH WASHERS

60. 8. VAN ACCESSIBLE SIGN WHERE APPLICABLE

61. 9. GREEN LETTERS AND BORDER

62. 10. PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

63. 11. VARIES SEE PLANS

64. 12. DUMMY JOINT

65. 13. DUMMIES JOINT

66. 14. LAWN OR PLANTING IF SHOWN ON SITE PLAN

67. 15. 1/2" EXPANSION JOINT

68. 16. 1" DEPTH

69. 17. VARIES SEE PLANS

70. 18. DUMMY JOINT

71. 19. 4,000 P.S.I. REINFORCED CONCRETE

72. 20. 6" X 6" W10 X W10 WWF

73. 21. 4" MIN.

74. 22. 1" MIN. CLEARANCE ALL SIDES

75. 23. COMPACTED SUBGRADE (PER SPECS)

76. 24. CRUSHED AGGREGATE STONE BASE (AASHTO NO. 57) OR CLEAN 2B STONE BASE

77. 25. SECTION A-A

78. 26. NOTES:

79. 1. 1/4" WIDE X 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.

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81. 3. SIDEWALK TO BE BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH

82. 4. 1/4" RADIUS ALL EXPOSED EDGES

83. 5. EXPANSION JOINTS 20'-0" O.C. MAXIMUM

84. 6. 1/4" RADIUS ALL EXPOSED EDGES

85. 7. 1/2" X 4" LAG BOLTS WITH WASHERS

86. 8. VAN ACCESSIBLE SIGN WHERE APPLICABLE

87. 9. GREEN LETTERS AND BORDER

88. 10. PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

89. 11. VARIES SEE PLANS

90. 12. DUMMY JOINT

91. 13. DUMMIES JOINT

92. 14. LAWN OR PLANTING IF SHOWN ON SITE PLAN

93. 15. 1/2" EXPANSION JOINT

94. 16. 1" DEPTH

95. 17. VARIES SEE PLANS

96. 18. DUMMY JOINT

97. 19. 4,000 P.S.I. REINFORCED CONCRETE

98. 20. 6" X 6" W10 X W10 WWF

99. 21. 4" MIN.

100. 22. 1" MIN. CLEARANCE ALL SIDES

101. 23. COMPACTED SUBGRADE (PER SPECS)

102. 24. CRUSHED AGGREGATE STONE BASE (AASHTO NO. 57) OR CLEAN 2B STONE BASE

103. 25. SECTION A-A

104. 26. NOTES:

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106. 2. CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT

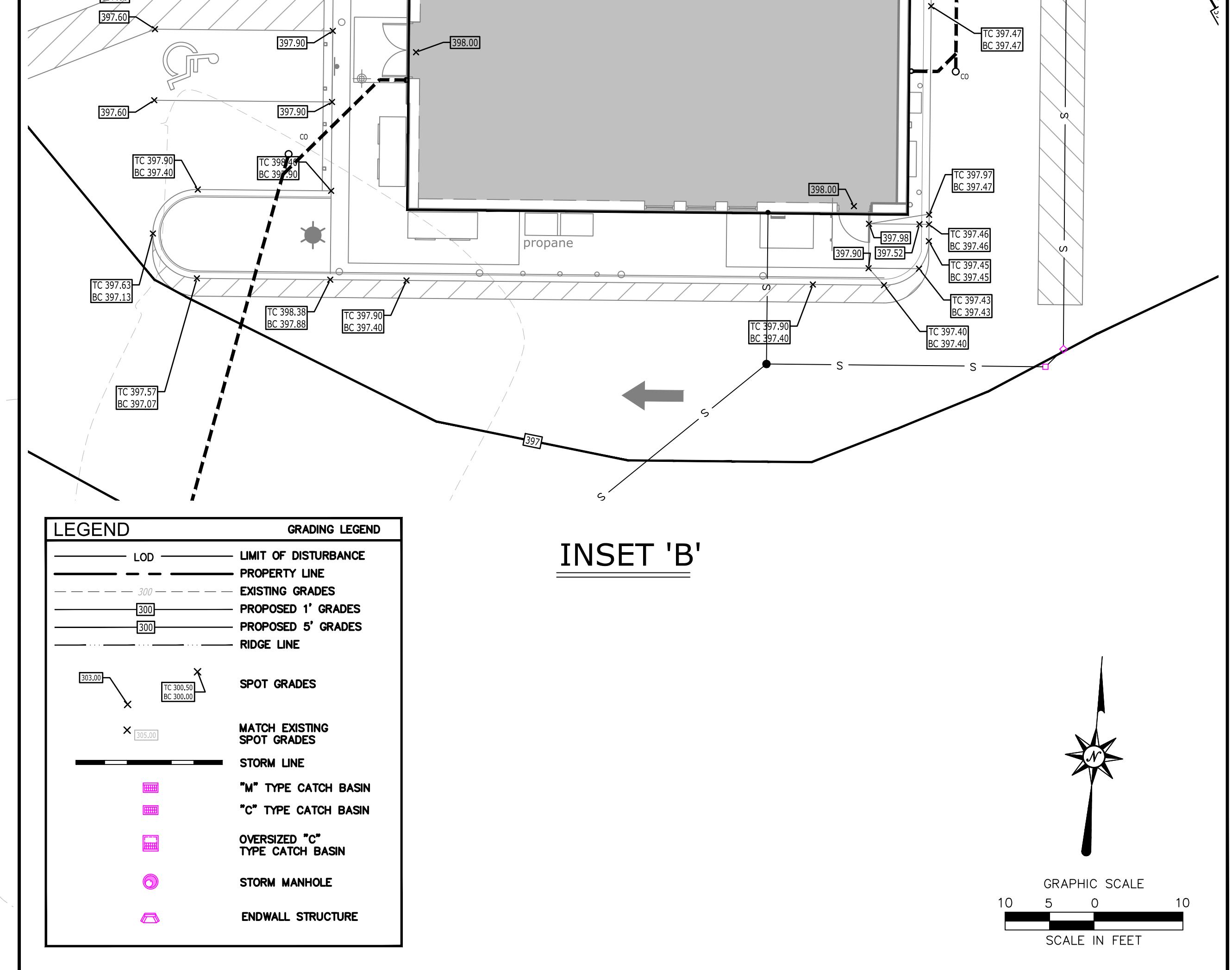
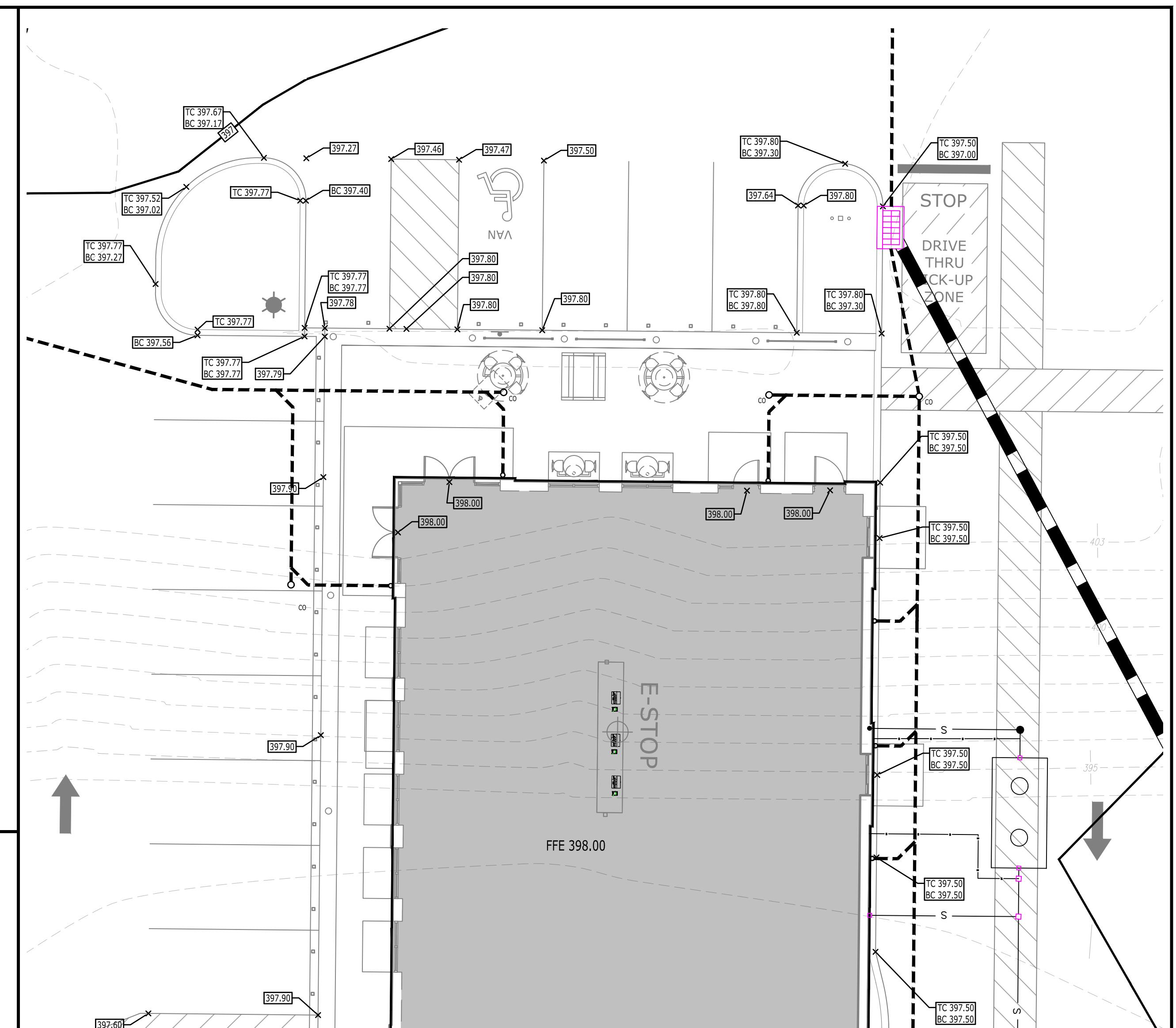
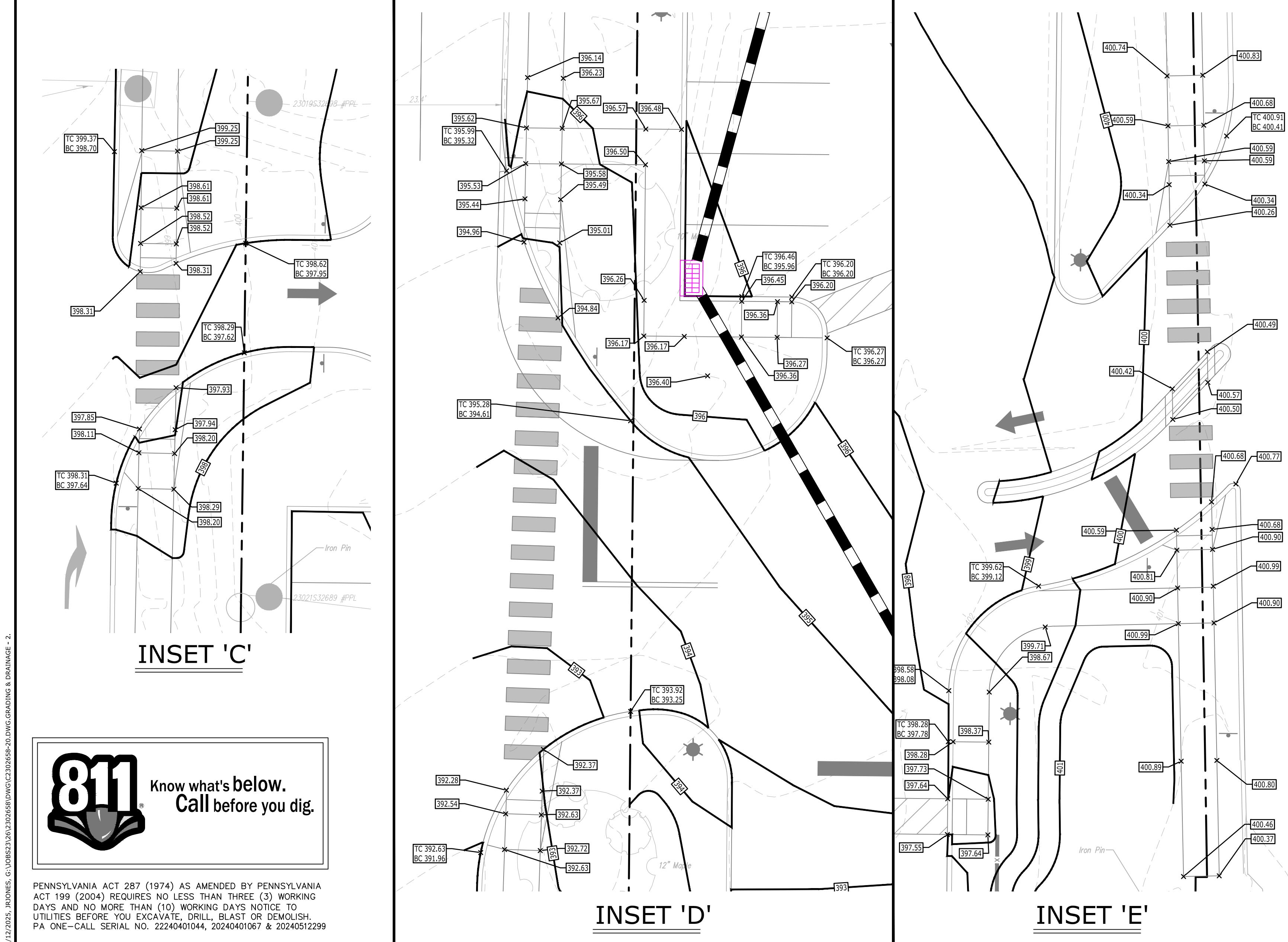
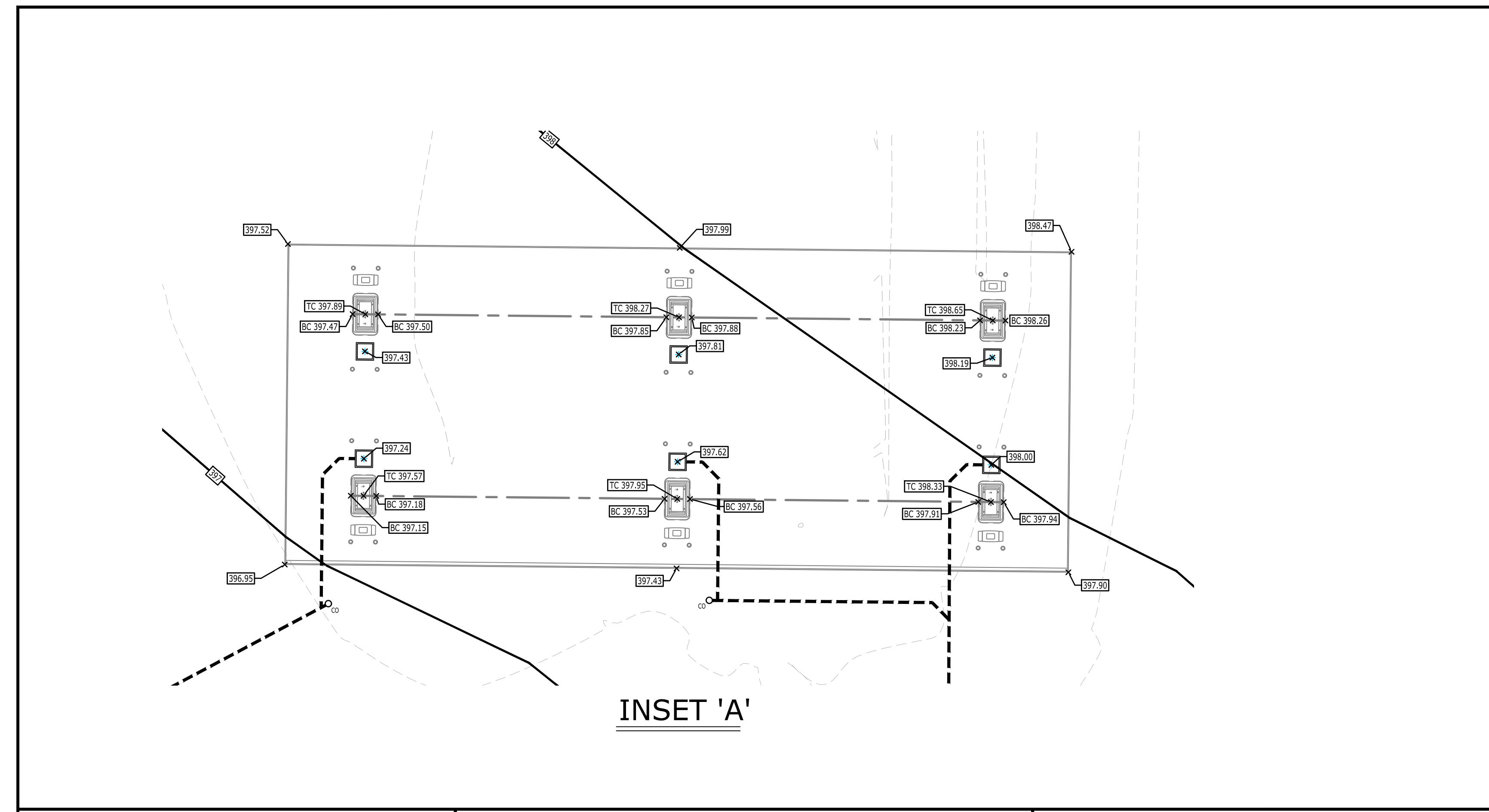
107. 3. SIDEWALK TO BE BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH

108. 4. 1/4" RADIUS ALL EXPOSED EDGES

109. 5. EXPANSION JOINTS 20'-0" O.C. MAXIMUM

110. 6. 1/4" RADIUS ALL EXPOSED EDGES

111. 7. 1/2" X 4" LAG BOLTS WITH WASHERS



**FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA**

REVISIONS	Date	10/29/2024
		01/31/2025
		03/12/2025
No.		
	1	2
	3	

Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	: 1" = 10'
Project No.	2302658
Date	09/16/2024

Title

GRADING PLAN

INSET

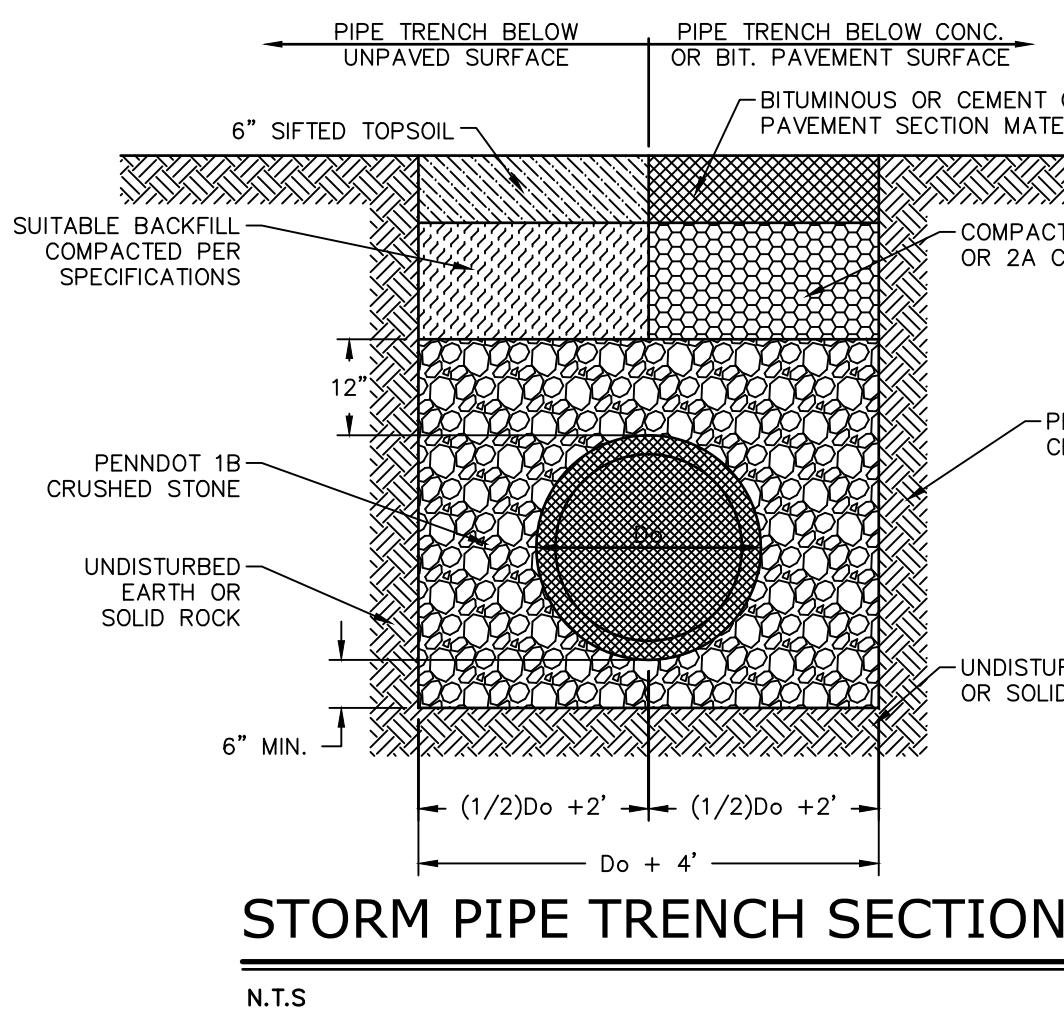
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C2.01

No. 11 of 22



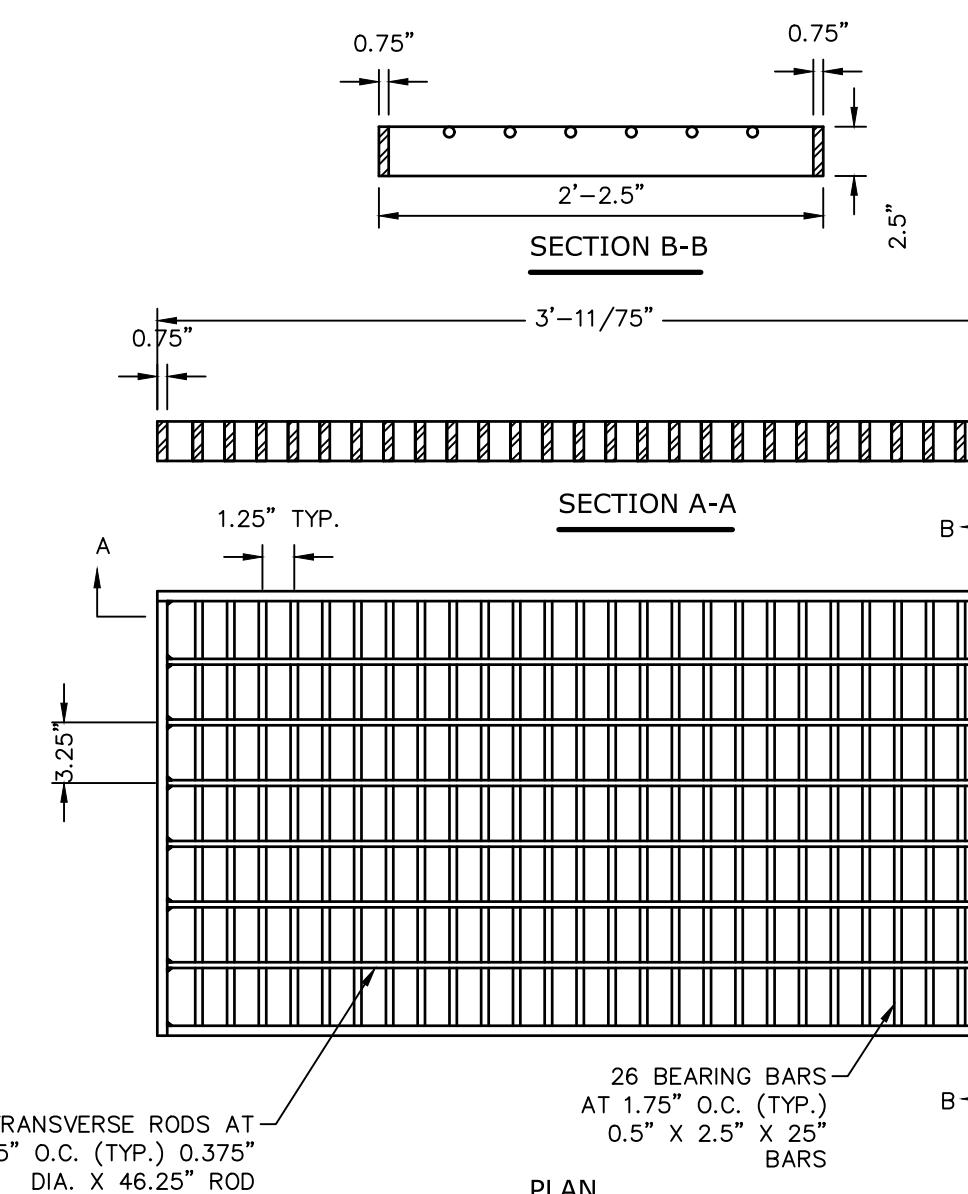
PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.
PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299



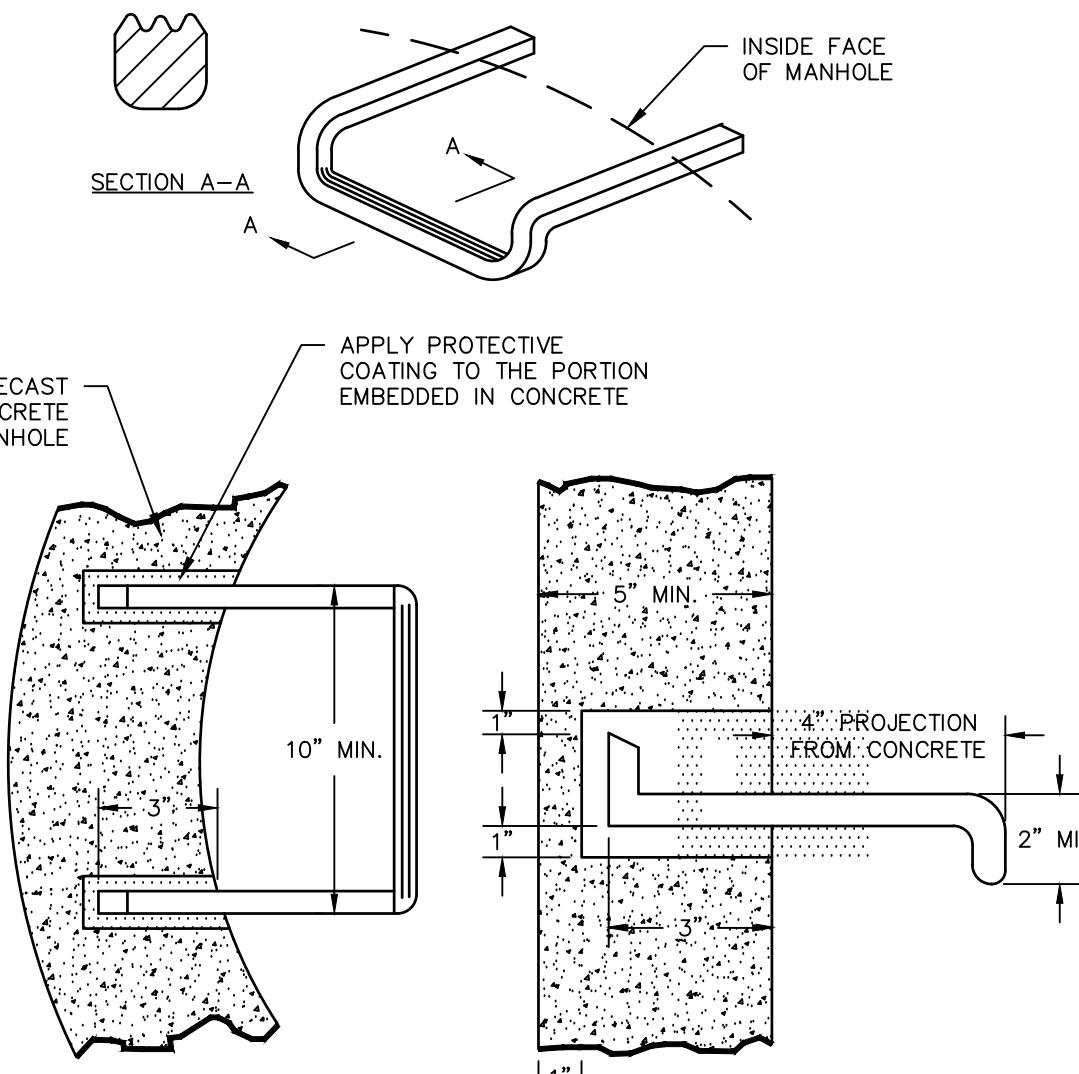
STORM PIPE TRENCH SECTION
N.T.S.

SECTION TO EXISTING STORM DRAINAGE STRUCTURE

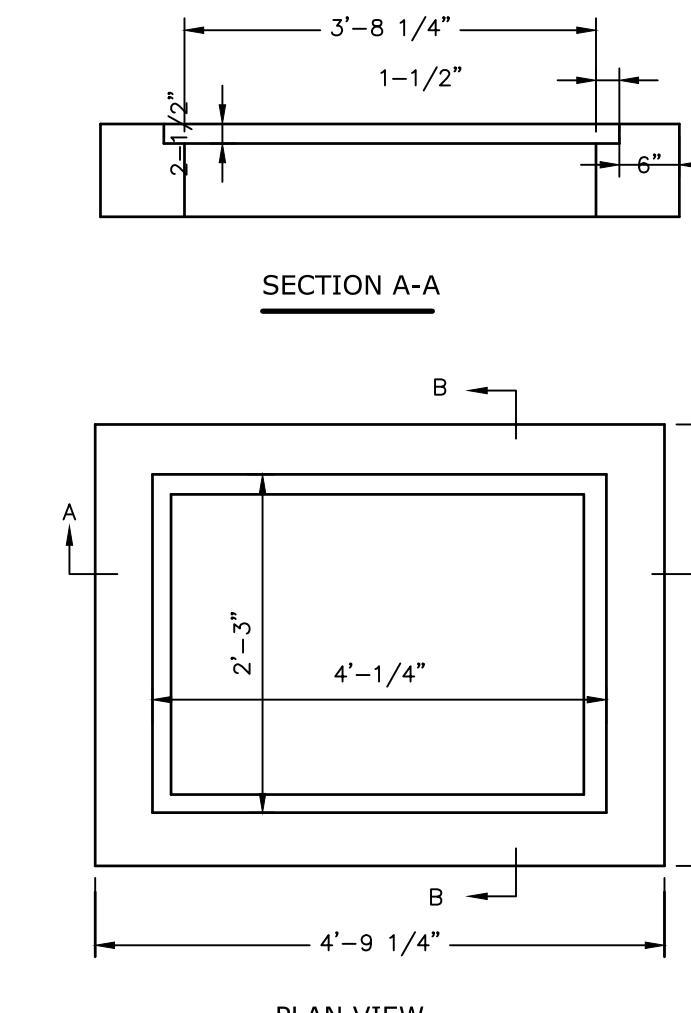
N.T.S.



STRUCTURAL STEEL BICYCLE SAFE GRATE
N.T.S.



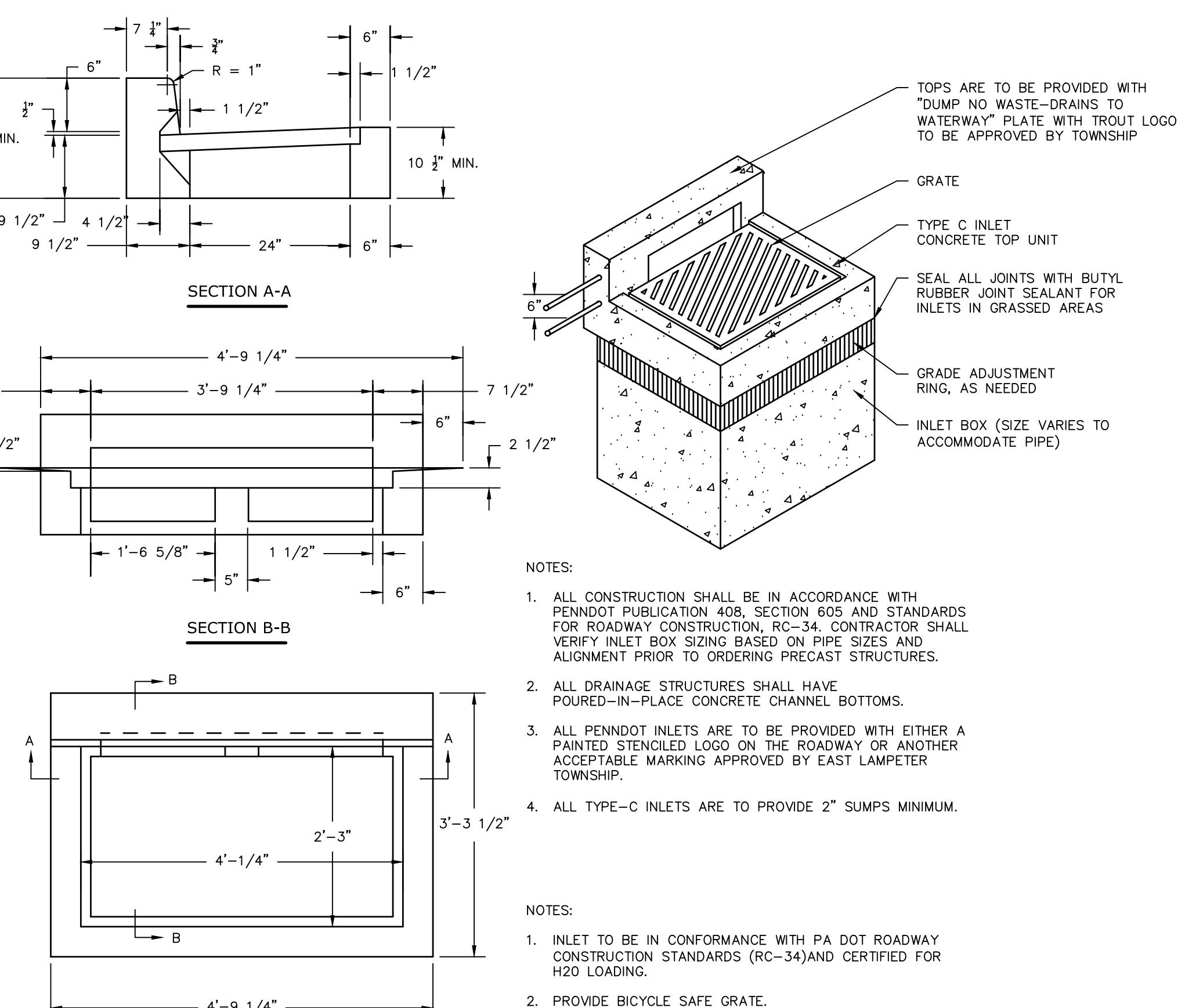
MANHOLE STEP DETAIL
N.T.S.



NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-45 AND RC-46. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. ALL DRAINAGE STRUCTURES SHALL HAVE Poured-in-Place CONCRETE CHANNEL BOTTOMS.
3. ALL PENNDOT INLETS ARE TO BE PROVIDED WITH EITHER A PAINTED STENCILED LOGO ON THE ROADWAY OR ANOTHER ACCEPTABLE MARKING APPROVED BY THE GOVERNING AGENCY.
4. ALL DRAINAGE STRUCTURES SHALL CONTAIN FLOW CHANNELS PER PUBLICATION NO. 72M.

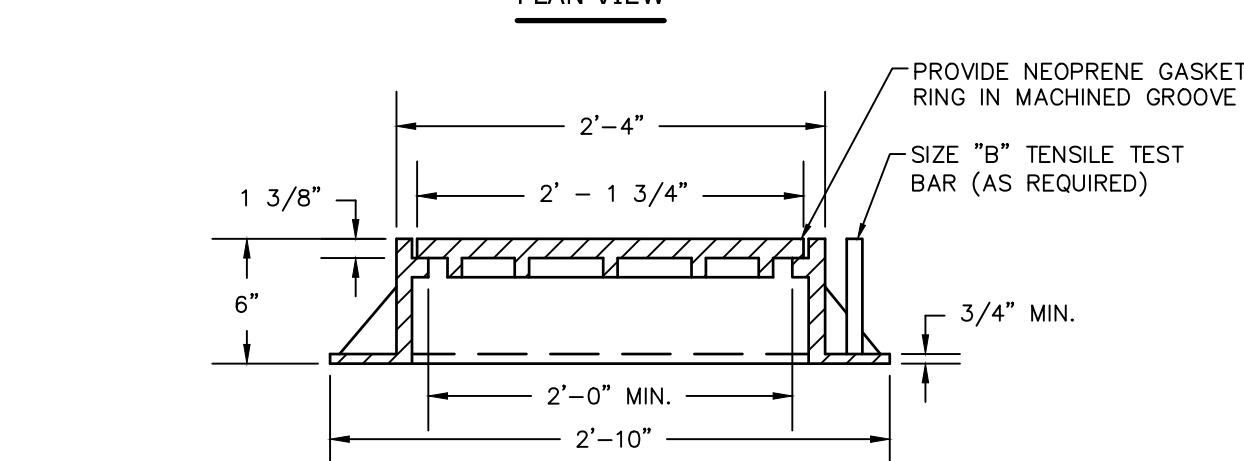
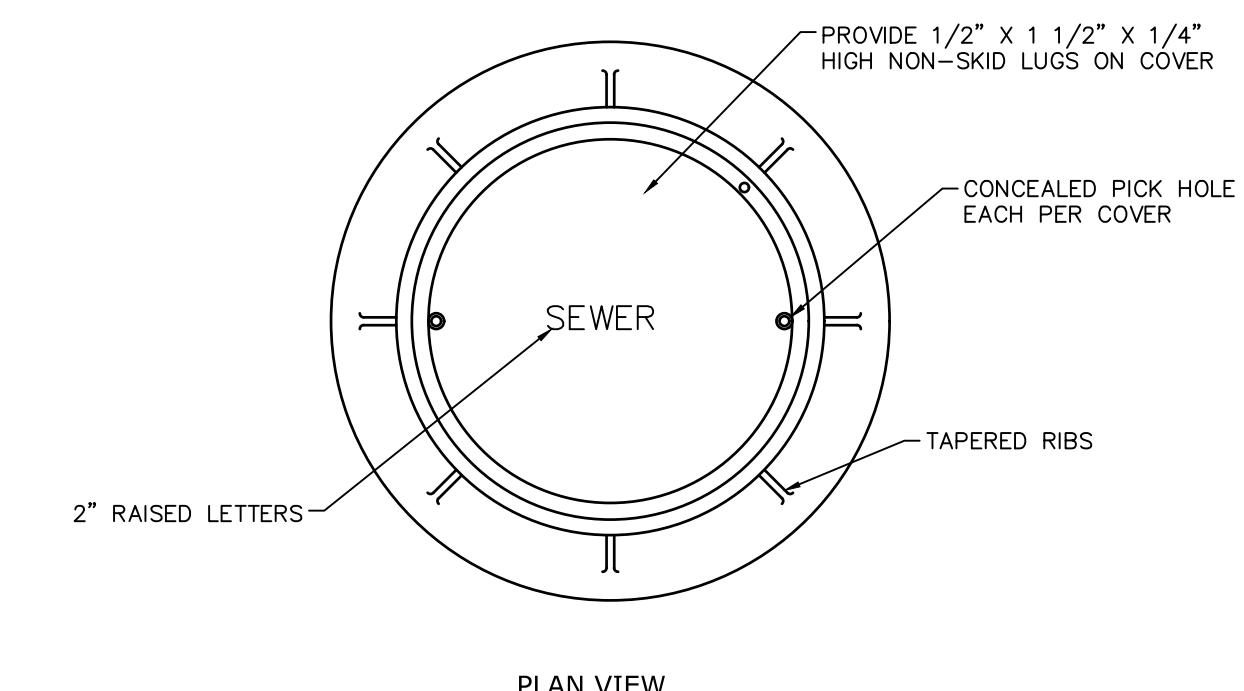
TYPE "M" INLET

N.T.S.



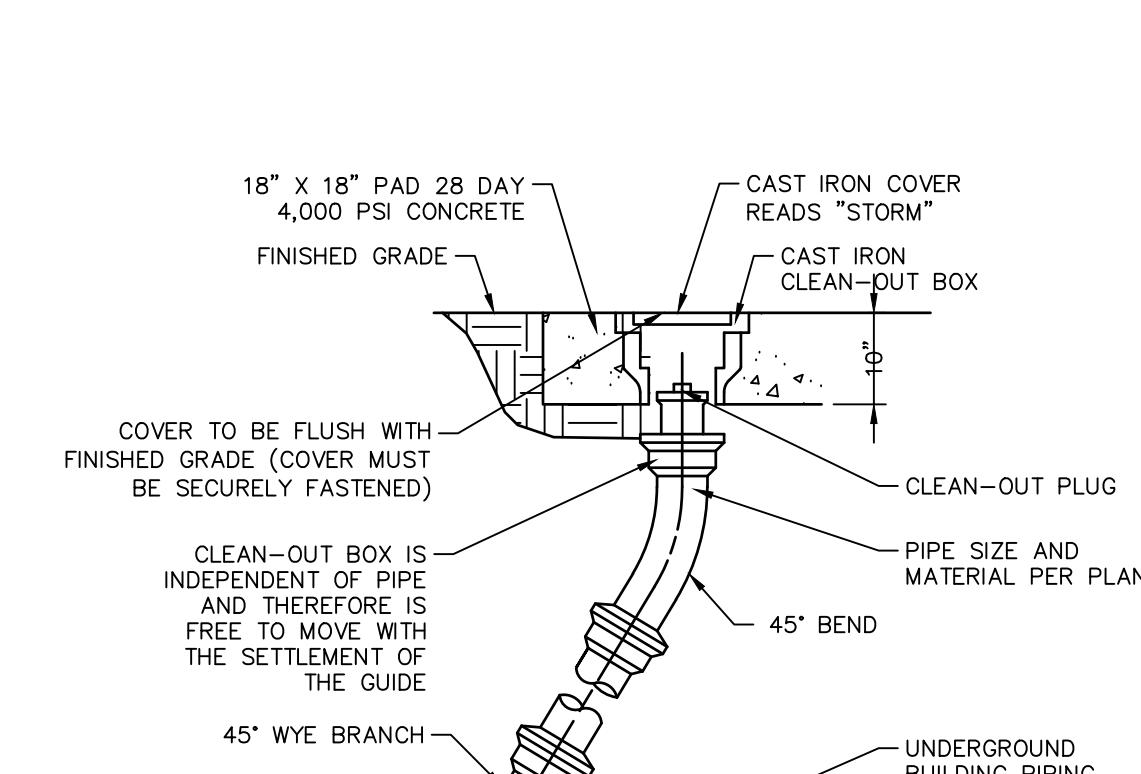
TYPE "C" INLET

N.T.S.



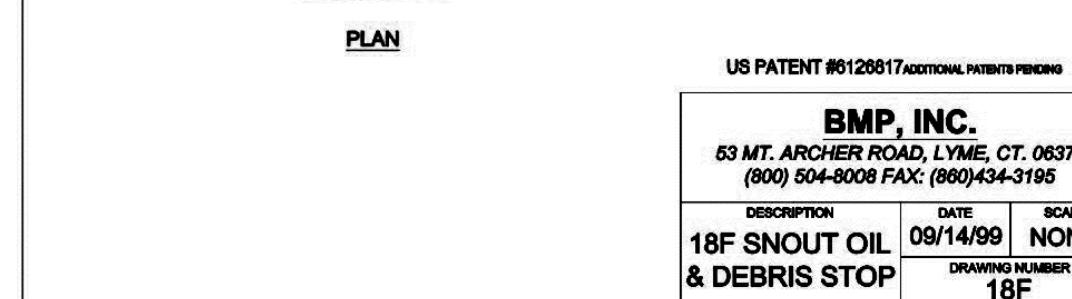
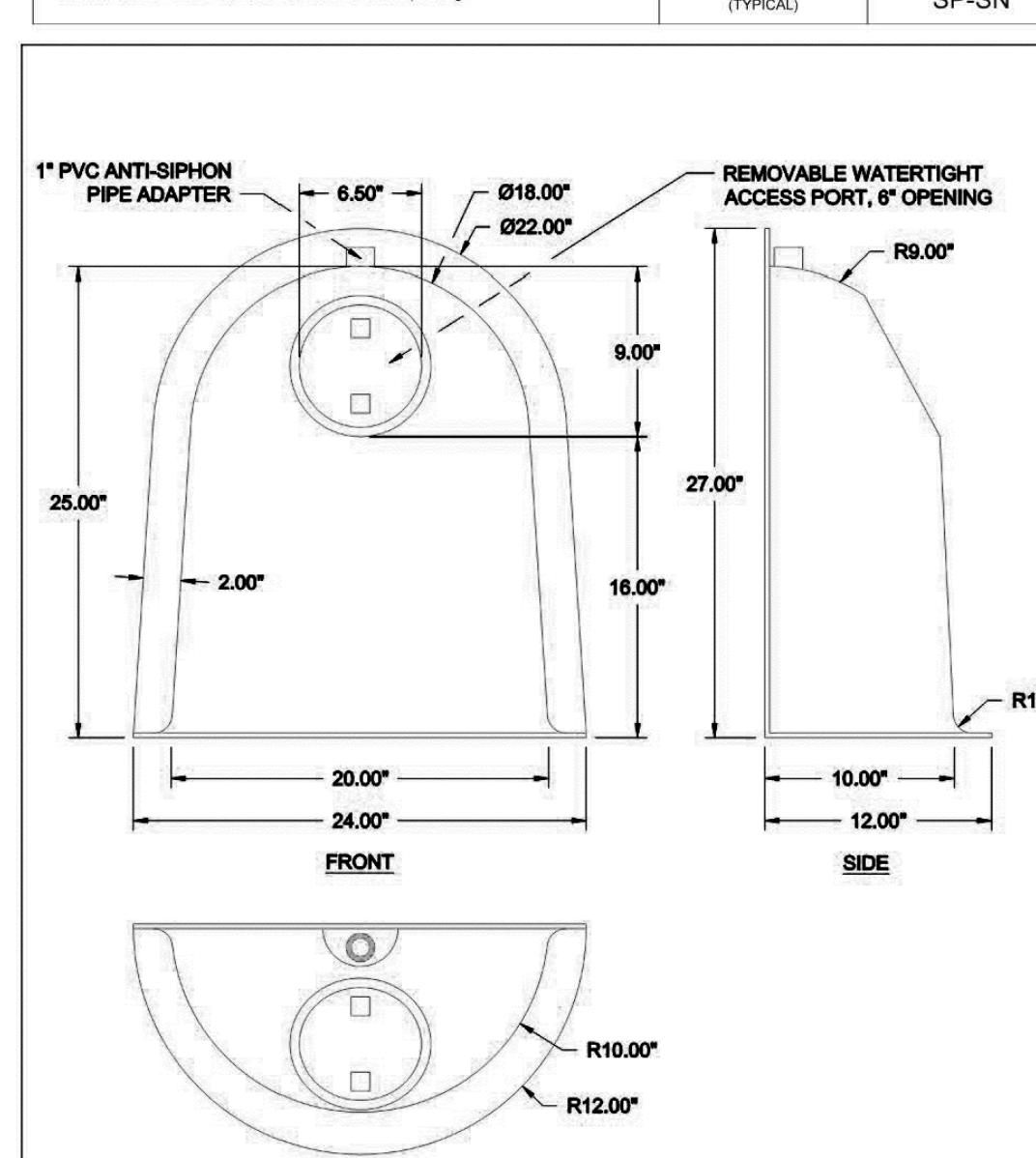
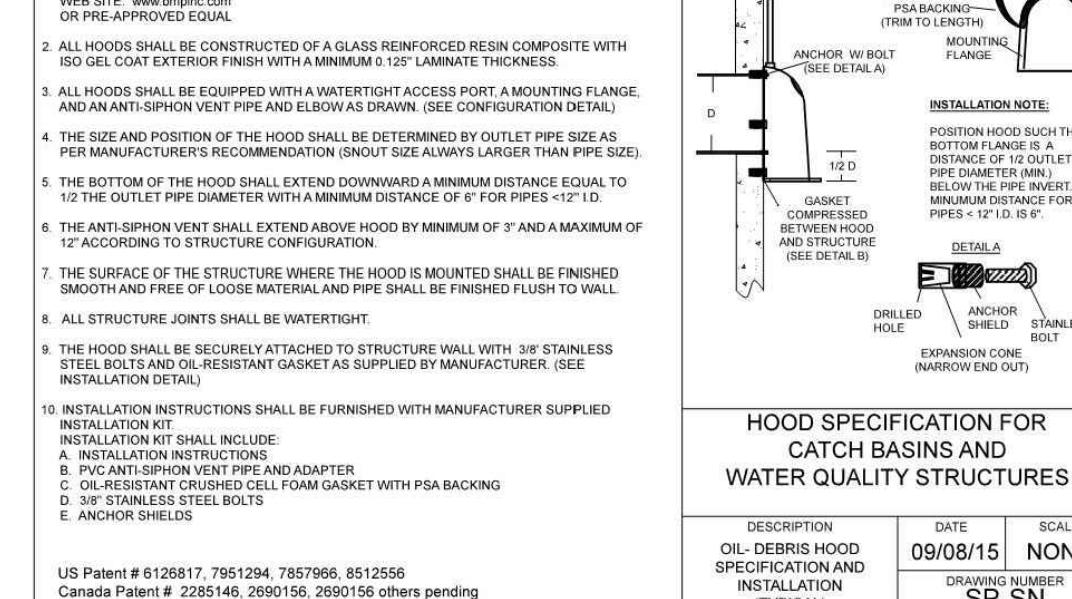
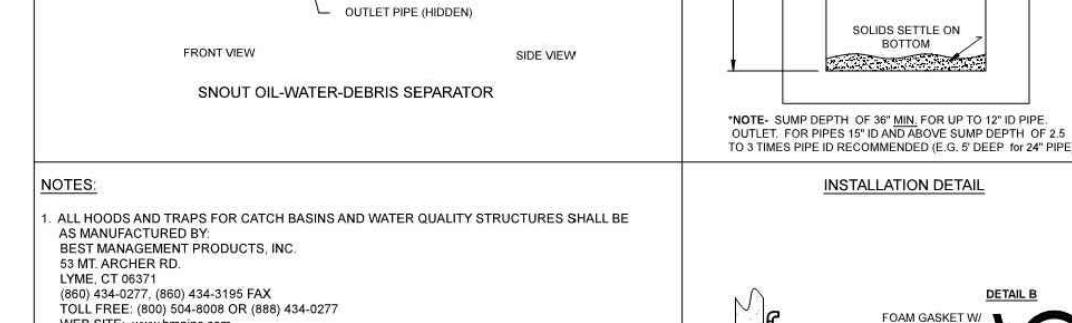
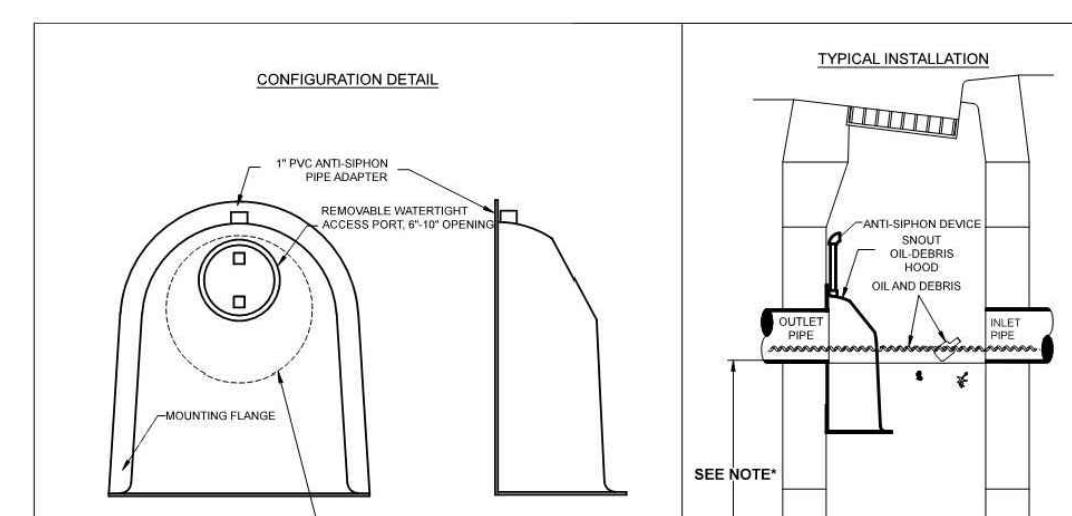
STANDARD MANHOLE FRAME AND COVER

N.T.S.



CLEANOUT DETAIL

N.T.S.



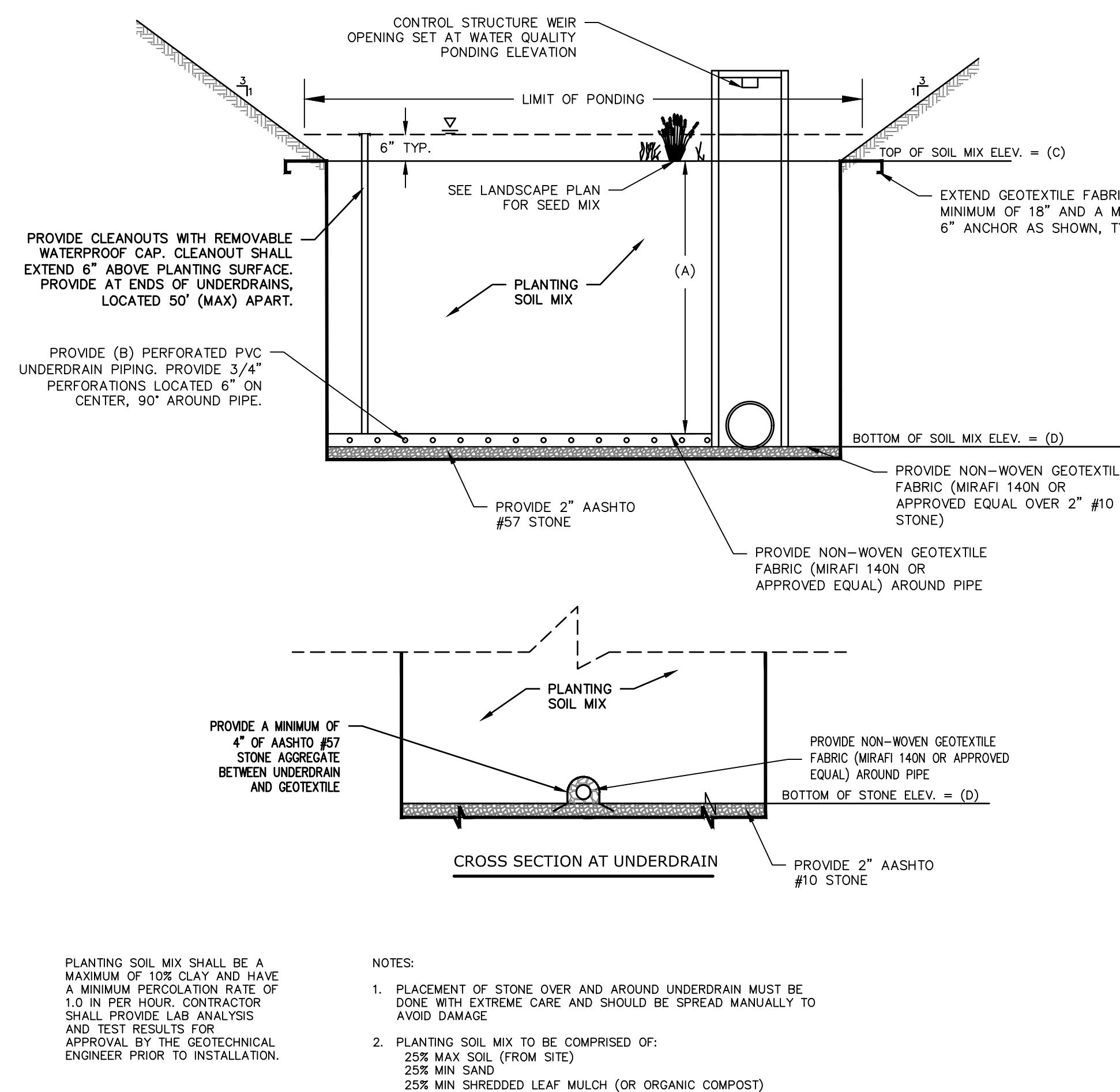
REVISIONS
No. 1 10/29/2024 REVISED FOR TWP. AND COUNTY COMMENTS
No. 2 01/31/2025 REVISED FOR TWP. AND COUNTY COMMENTS
No. 3 01/12/2025 REVISED FOR TWP. AND COUNTY COMMENTS

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale : N.T.S.
Project No. 2302658
Date 09/16/2024
CAD File: C202658-110

Title
GRADING & DRAINAGE DETAILS
Sheet No. C2.100
No. 12 of 22

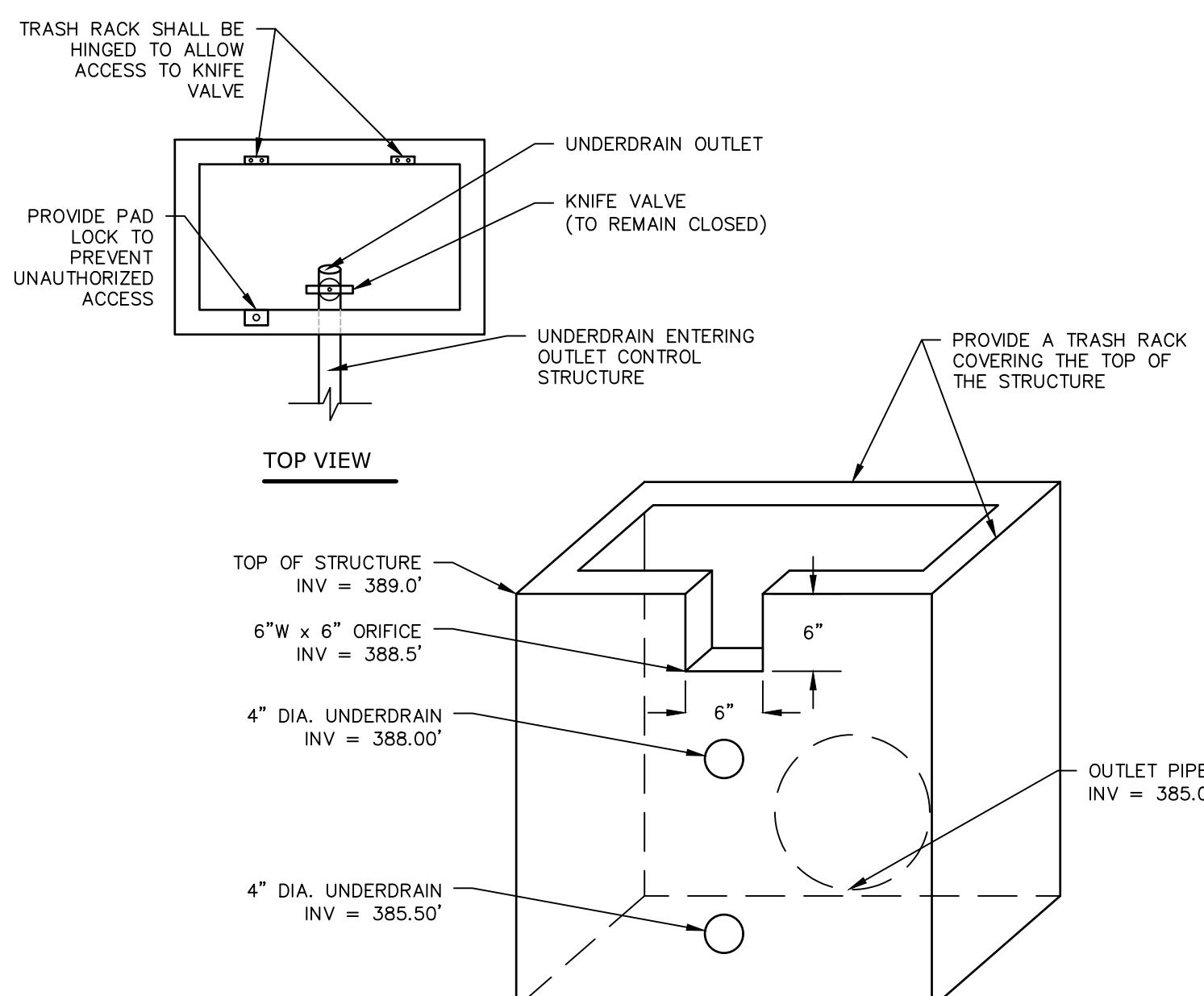
FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION
Ref. (S): X8B0 / X8B0 / X8C305658-01 / X8C305658-01
© 2025 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

RAIN GARDEN FACILITY	SOIL MIX (A)	UNDERDRAIN DIAMETER (B)	SURFACE ELEV. (C)	BOTTOM OF PLANTING SOILS ELEV. (D)
1	2.5'	4"	388.00	385.50



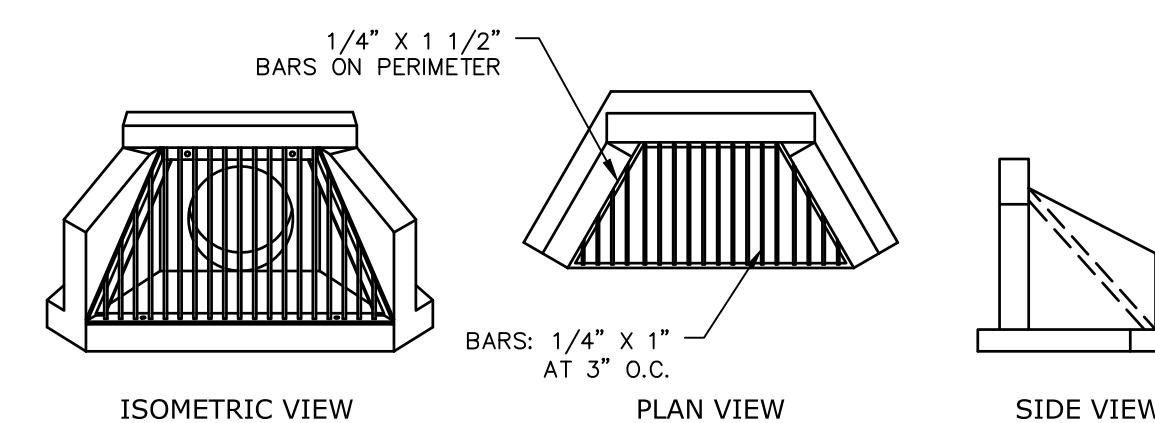
RAIN GARDEN CROSS SECTION

NTS



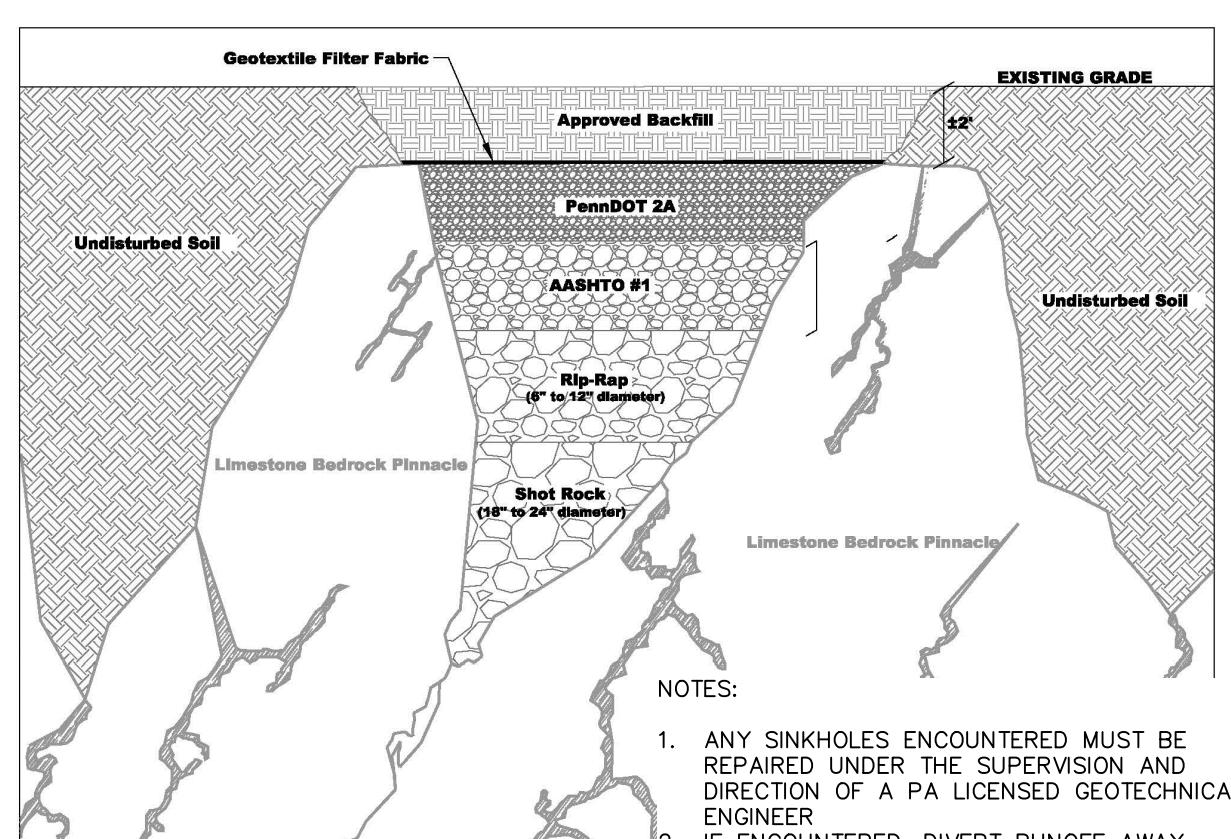
PERMANENT OUTLET STRUCTURE

NT



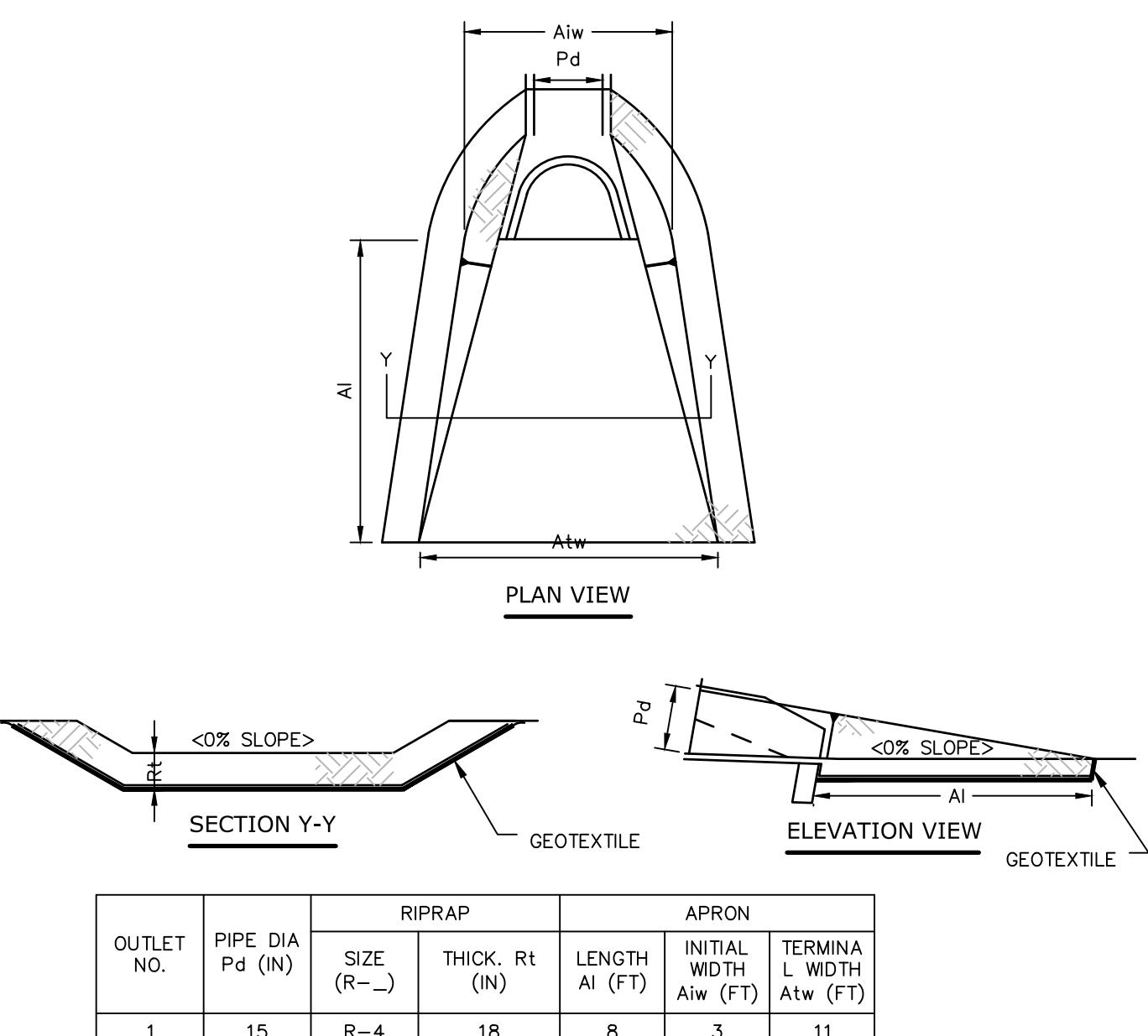
TYPE DW ENDWALL WITH TRASHRACK

1



SINKHOI F RFPAIR DFTATI

178

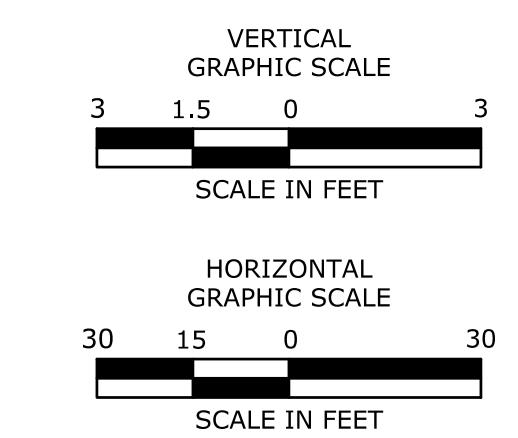
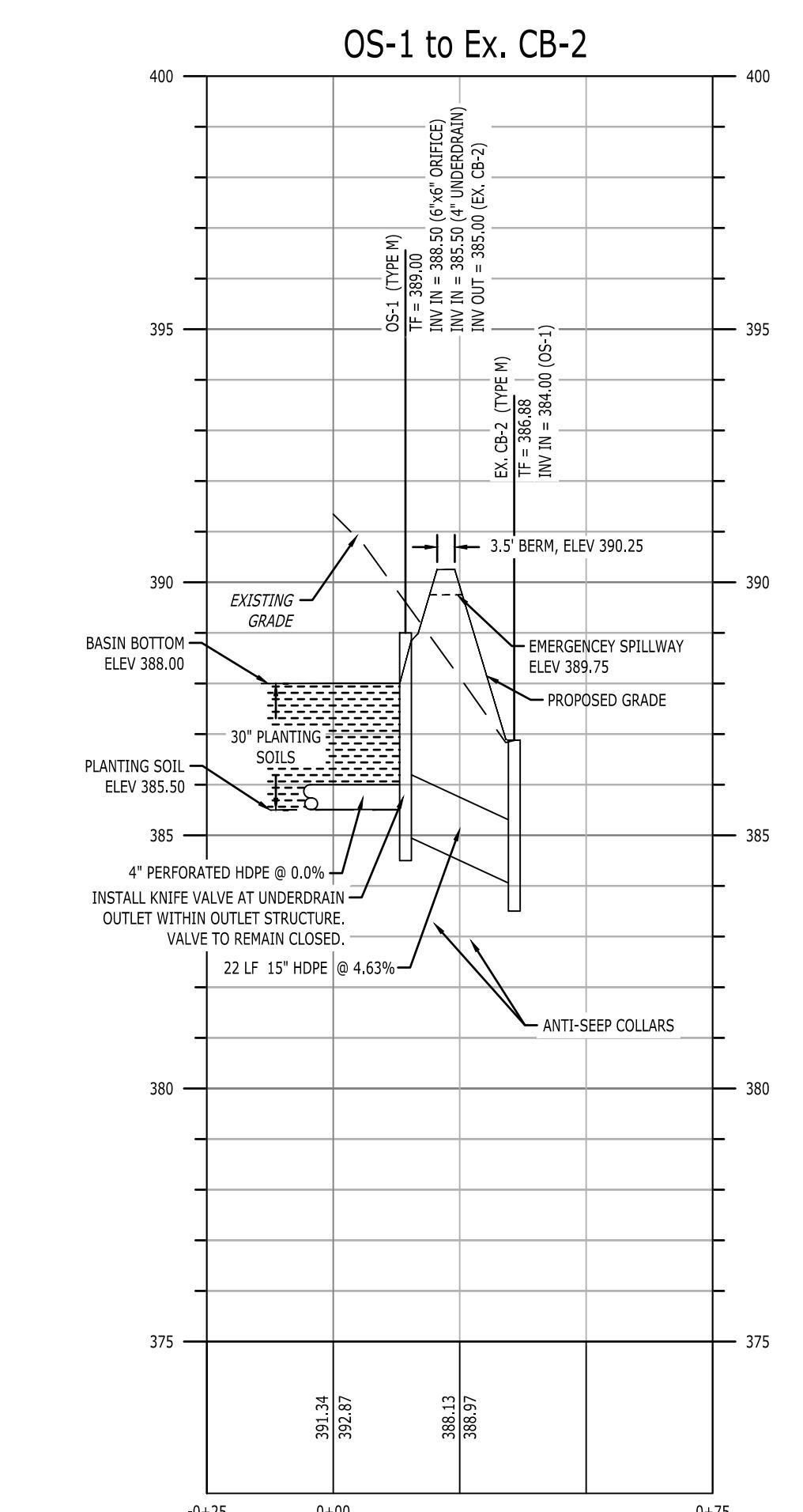
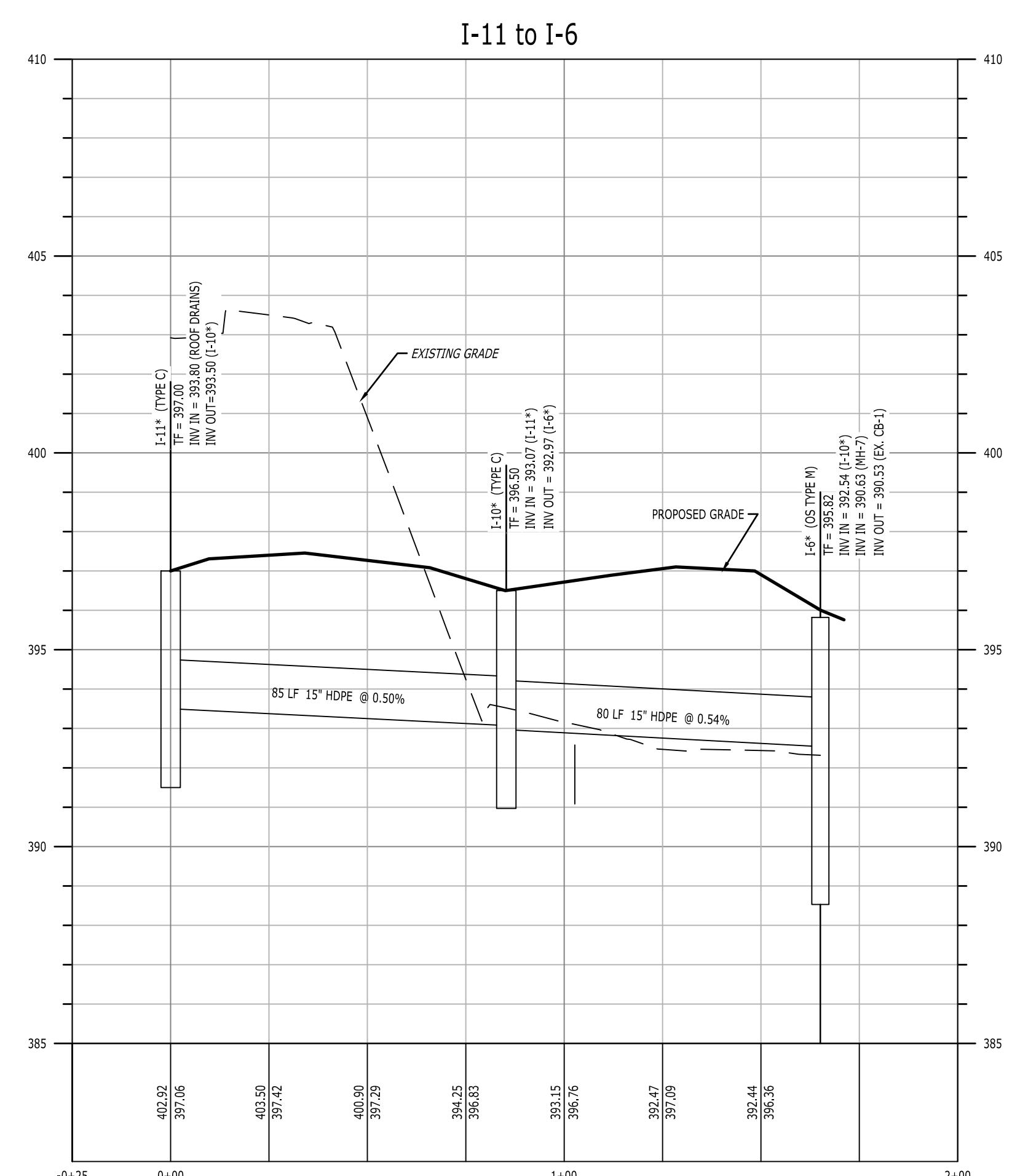
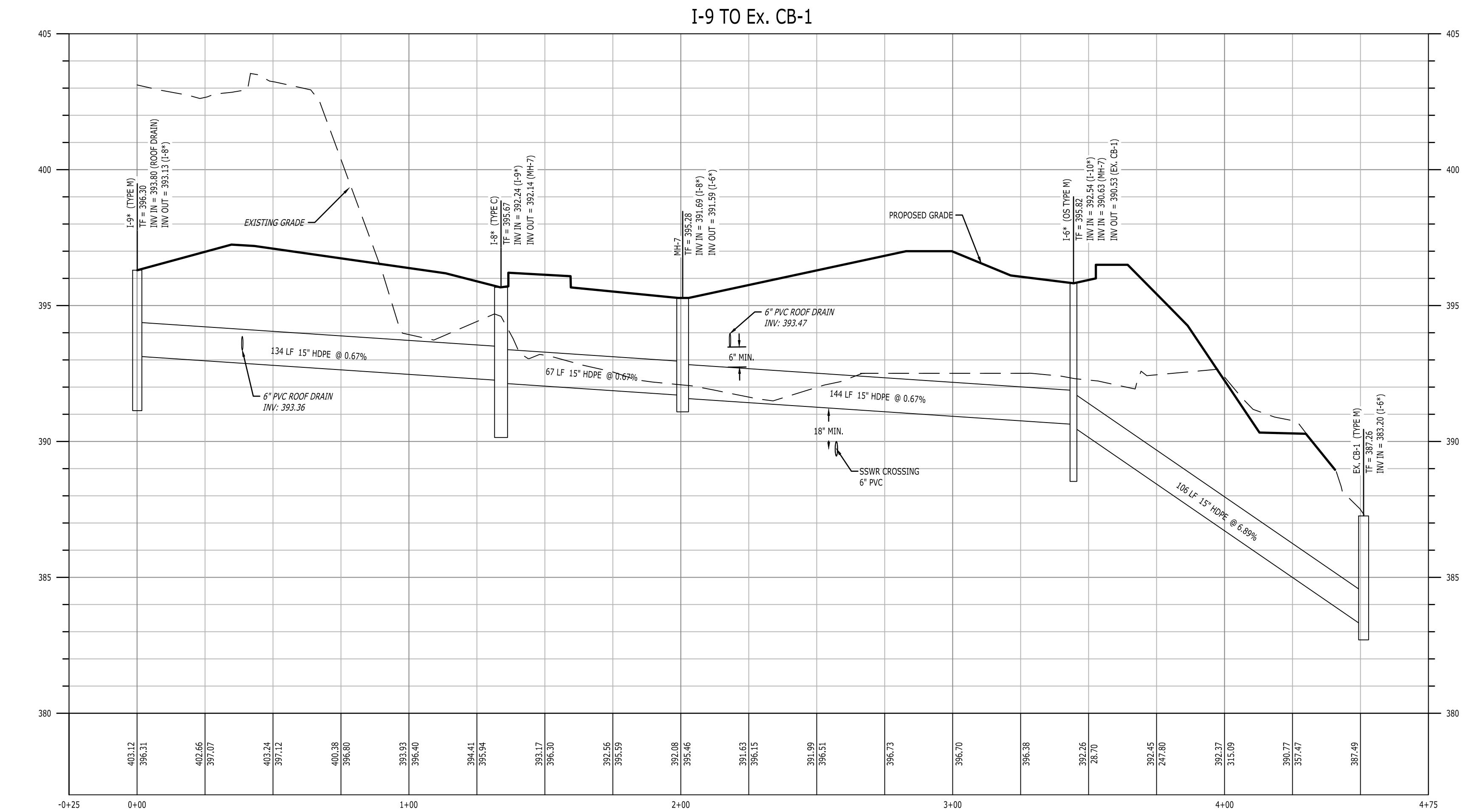
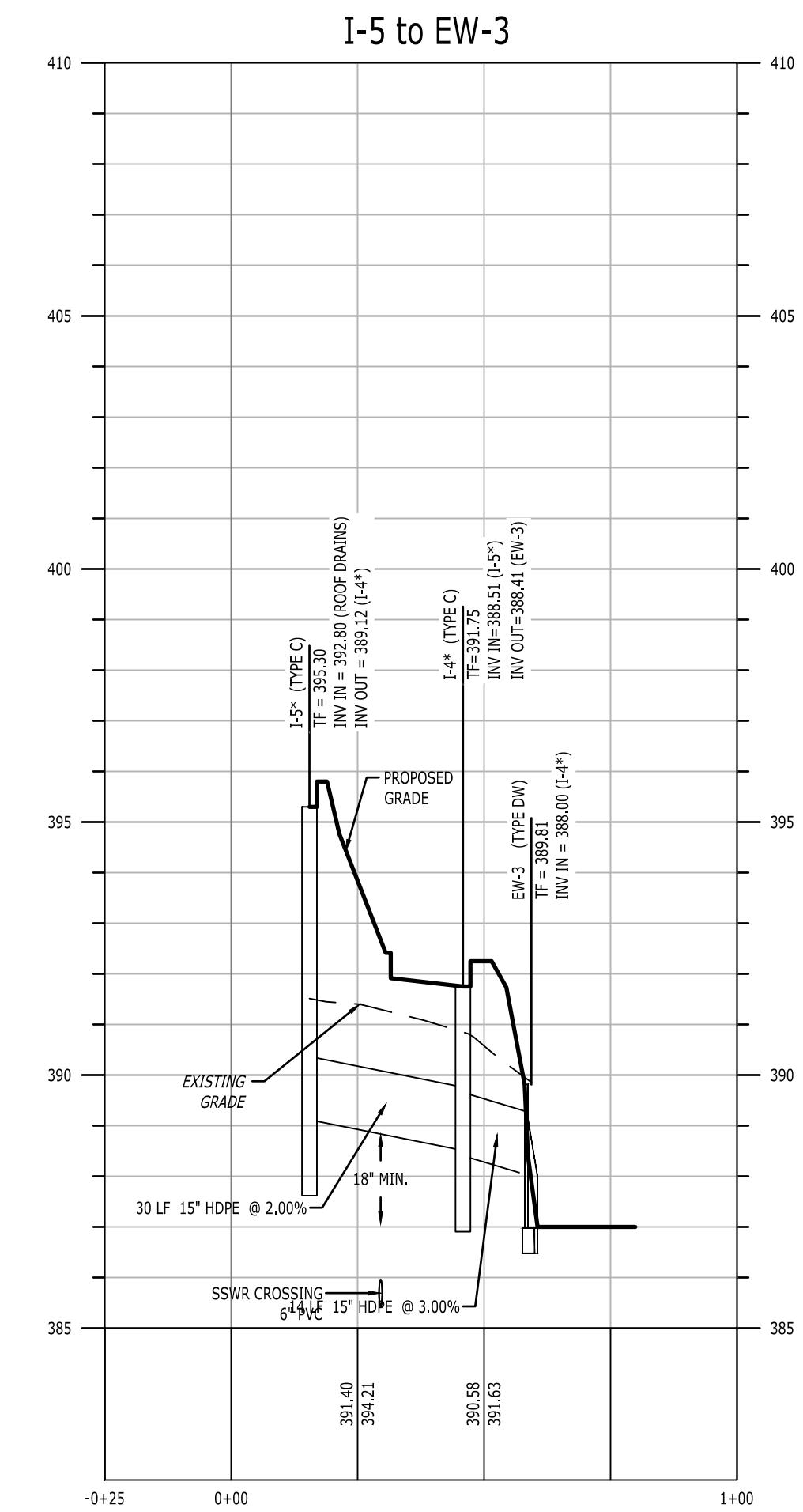


RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL DETAIL

NTS PAEC



NTS PAFC-9-1



C2.20
No. 15 of 22

Xref(s) : X800-XC21

REVISIONS
No. Date Desc.
1 10/29/2024 REvised per Twp and County Comments
2 10/22/2025 Revised per Township Comments
3 09/12/2025 Revised per Township Comments

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 30'
Project No. 2302658
Date 09/16/2024
CAD File: C2302658-22

Title

STORM PROFILES

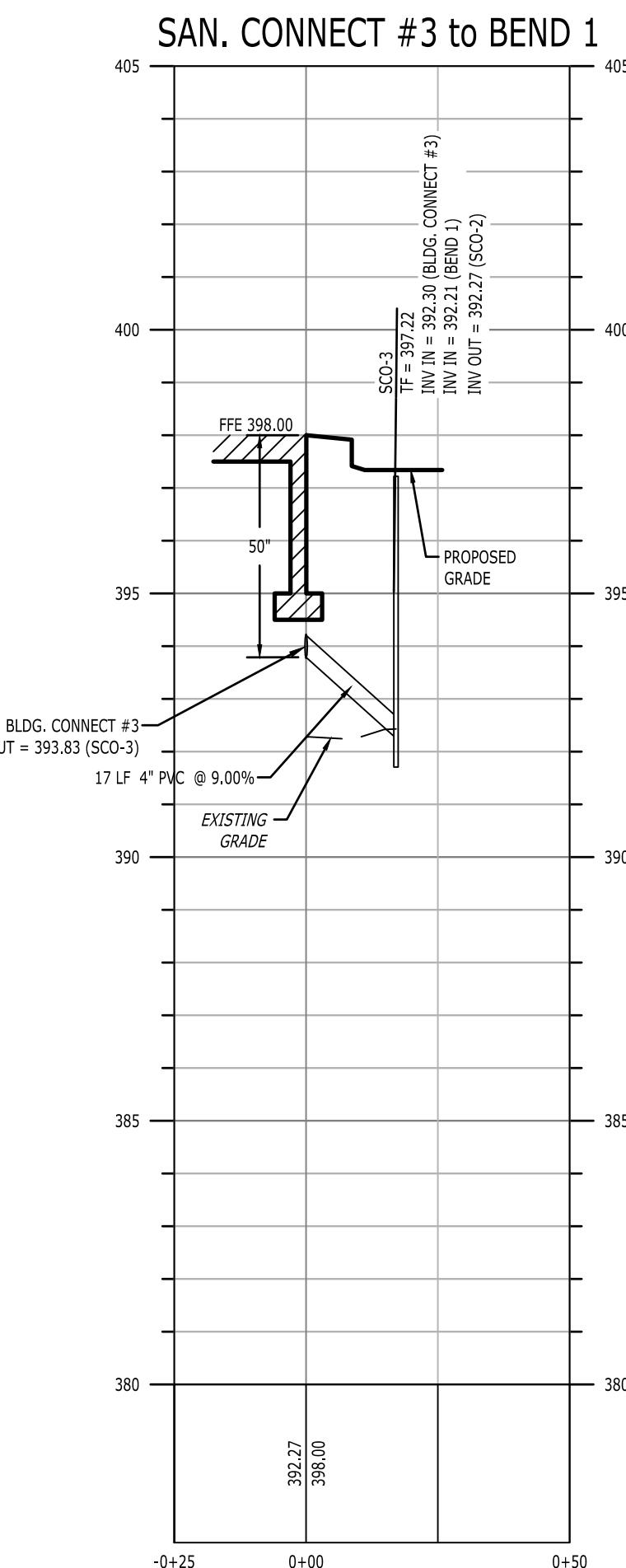
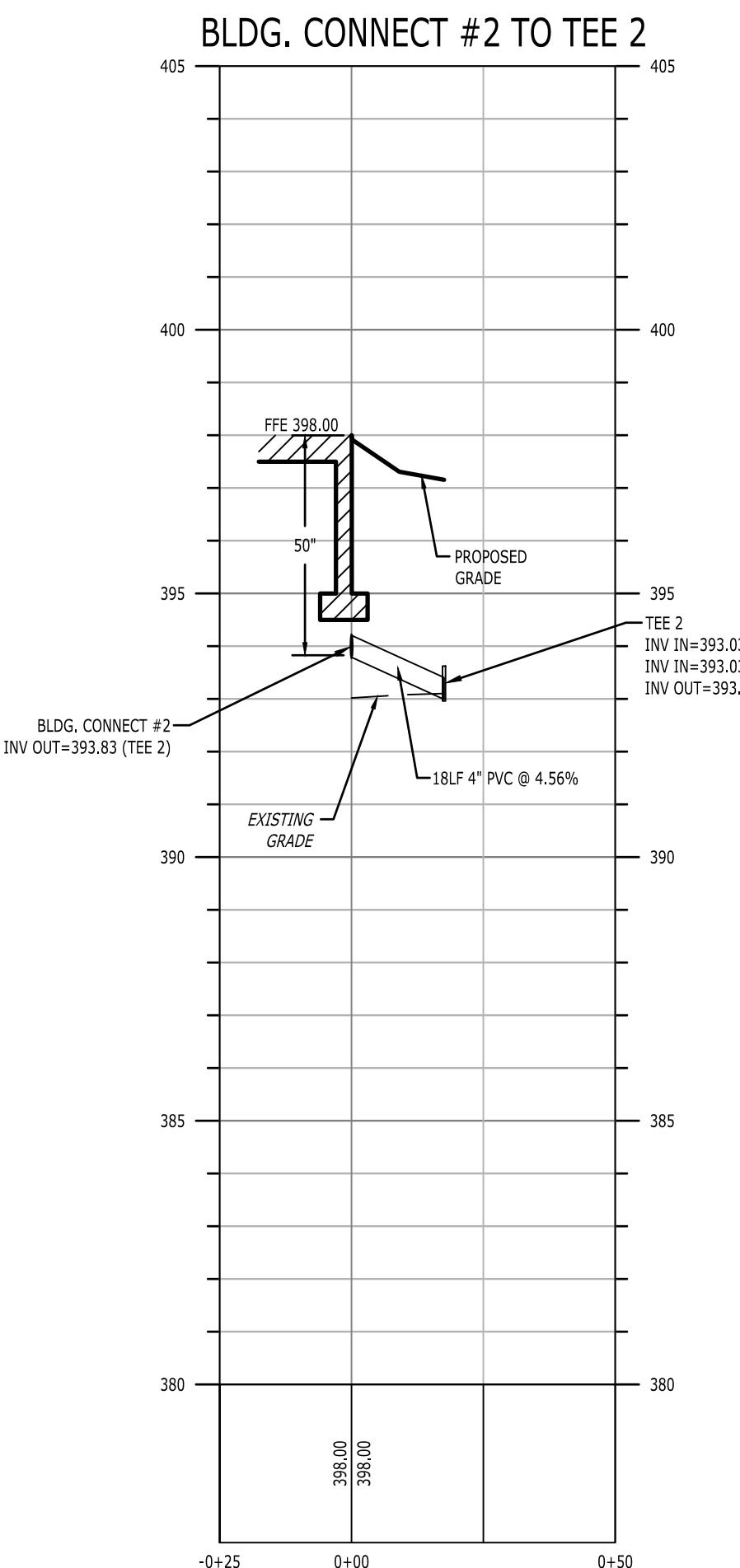
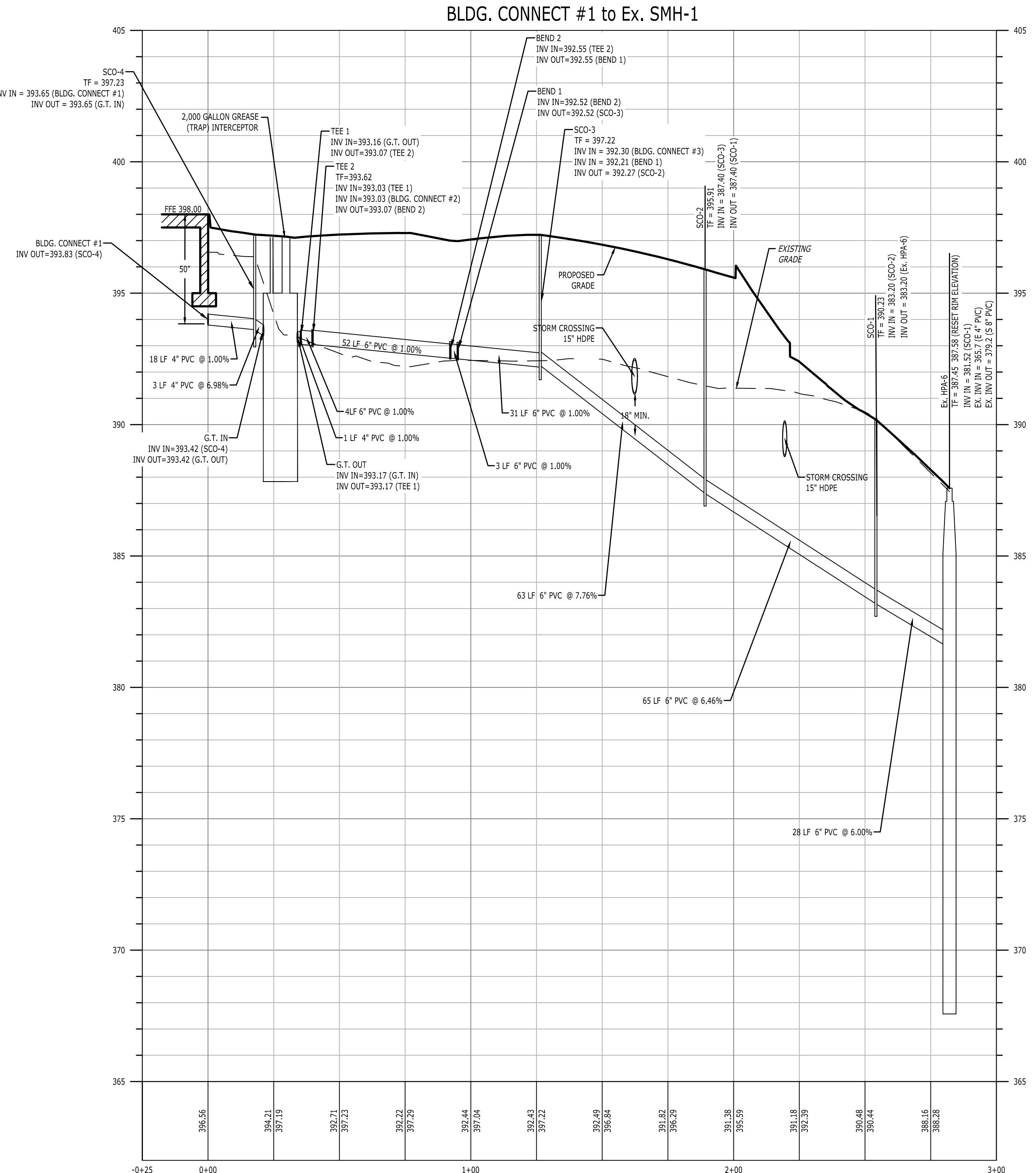
Sheet No.

FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

BL COMPANIES
Architecture
Engineering
Environmental
Land Surveying
Companies

2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665

SHEETZ
Sheetz, Inc.
Albion, PA 16002
(814) 946-3611



VERTICAL GRAPHIC SCALE

3 1.5 0 3

SCALE IN FEET

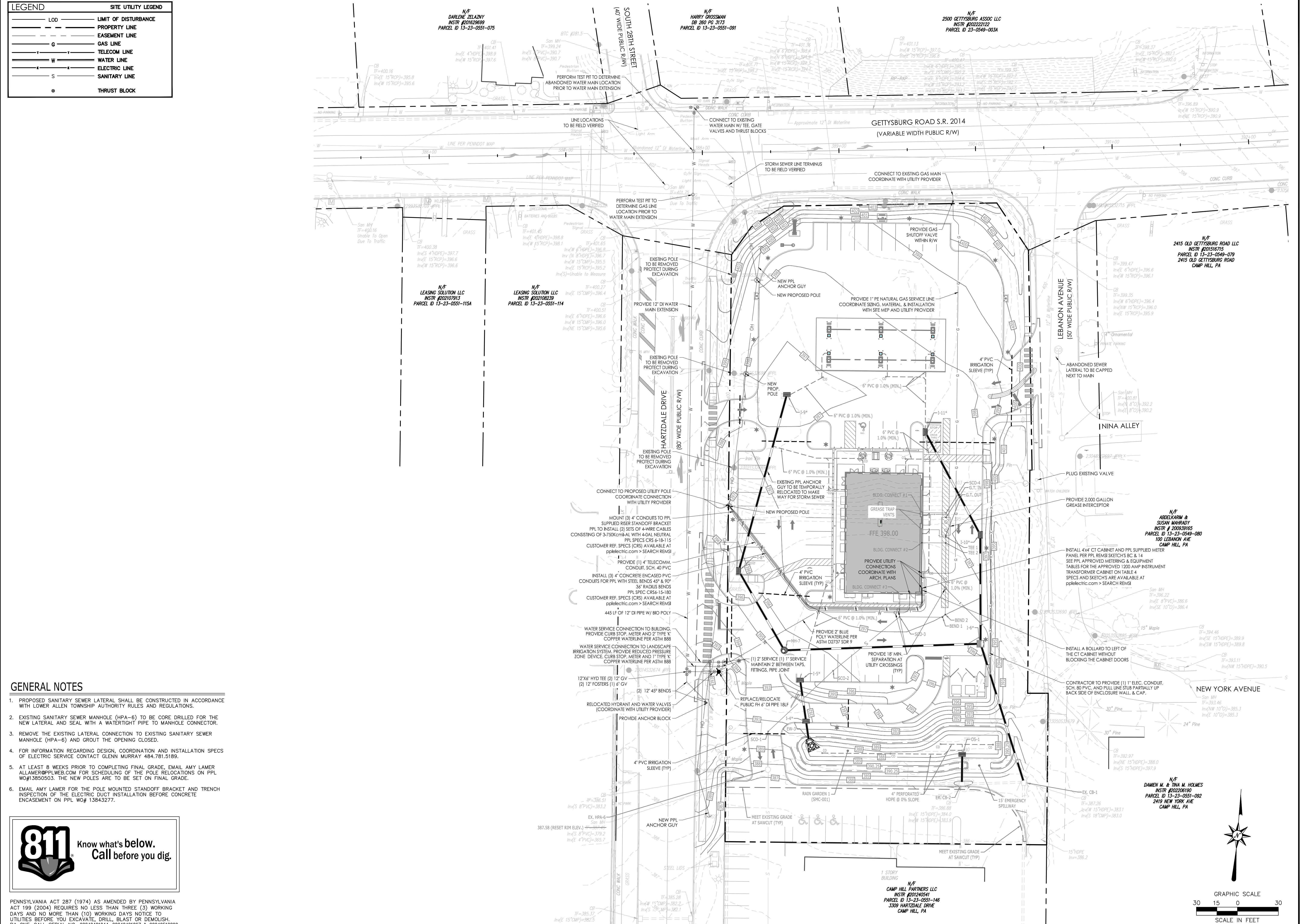
HORIZONTAL GRAPHIC SCALE

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SCALE IN FEET

Xref (s): ; XB00 ; XC21
Sheet No.
C2.21
No. 16 of 2

LEGEND	
LOD	LIMIT OF DISTURBANCE
—	PROPERTY LINE
—	EASEMENT LINE
G	GAS LINE
—	TELECOM LINE
W	WATER LINE
—	ELECTRIC LINE
S	SANITARY LINE
◎	THRUST BLOCK



FINAL LAND DEVELOPMENT PLAN SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE

3303 HARTZDALE DRIVE
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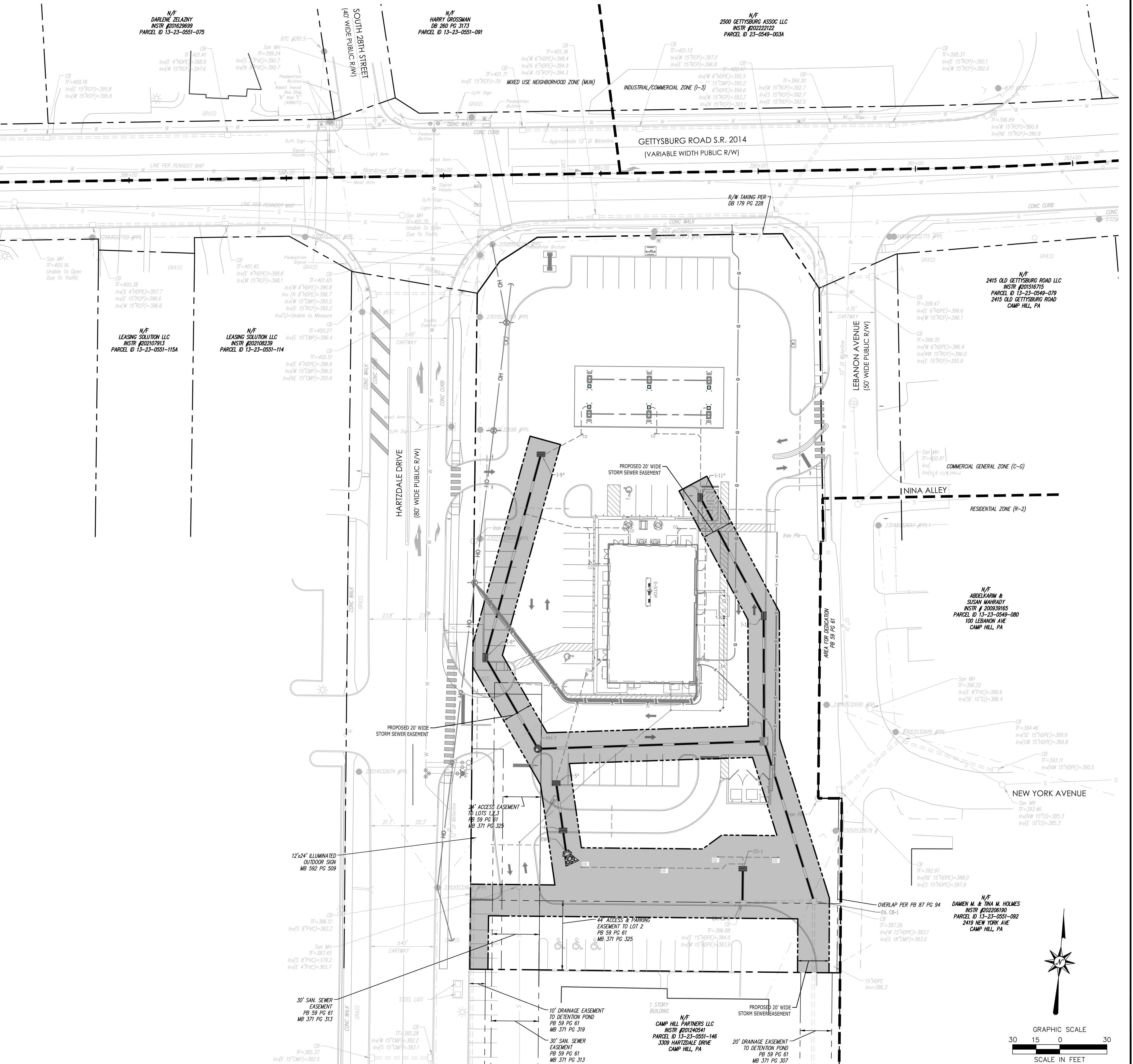
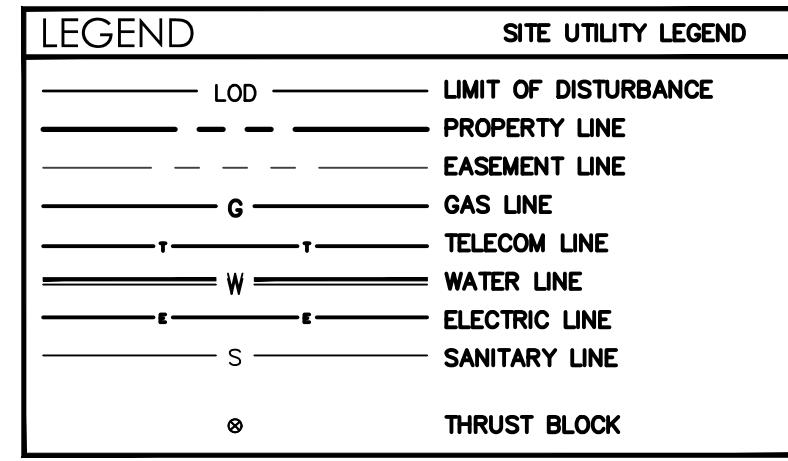
REVISIONS
Date: 10/29/2024
Dec.: REVISED PER TWP AND COUNTY COMMENTS
Drawn: 10/29/2024
Reviewed: 10/29/2024
Scale: 1" = 30'
Project No.: 2302658
Date: 09/22/2025
Comments: REVISED PER TWP AND COUNTY COMMENTS
TOWNSHIP COMMENTS
REVIEWED BY TOWNSHIP COMMENTS

Designed: J.B.W.
Drawn: J.R.W.
Reviewed: J.B.W.
Scale: 1" = 30'
Project No.: 2302658
Date: 09/12/2025
Comments: REVISED PER TWP AND COUNTY COMMENTS
TOWNSHIP COMMENTS

CAD File: C2302658-30
Title: SITE UTILITY PLAN
Sheet No.: X-1
Graphic Scale: 30 15 0 30
Scale in FEET
Xref(s): XC01 : B001 : XY02 : XC02 : XC03
No. 1 2 3
GENERAL NOTES

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

C3.00
No. 17 of 22



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE CALL SERIAL NO. 202404101414, 202404101267, 202405120000

PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299

**FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA**

**FINAL LAND DEVELOPMENT PLAN
HEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA**

REVISIONS		Desc.	REvised PER TWP. AND COUNTY COMMENTS
No.	Date	REvised PER TOWNSHIP COMMENTS	REvised PER TOWNSHIP COMMENTS
1	10/29/2024		
2	01/31/2025		
3	03/12/2025		

Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	1" = 30'
Project No.	2302658
Date	09/16/2024
CAD File:	

CAD INC.
C2302658-30

Title

EASEMENT PLAN

Sheet No.

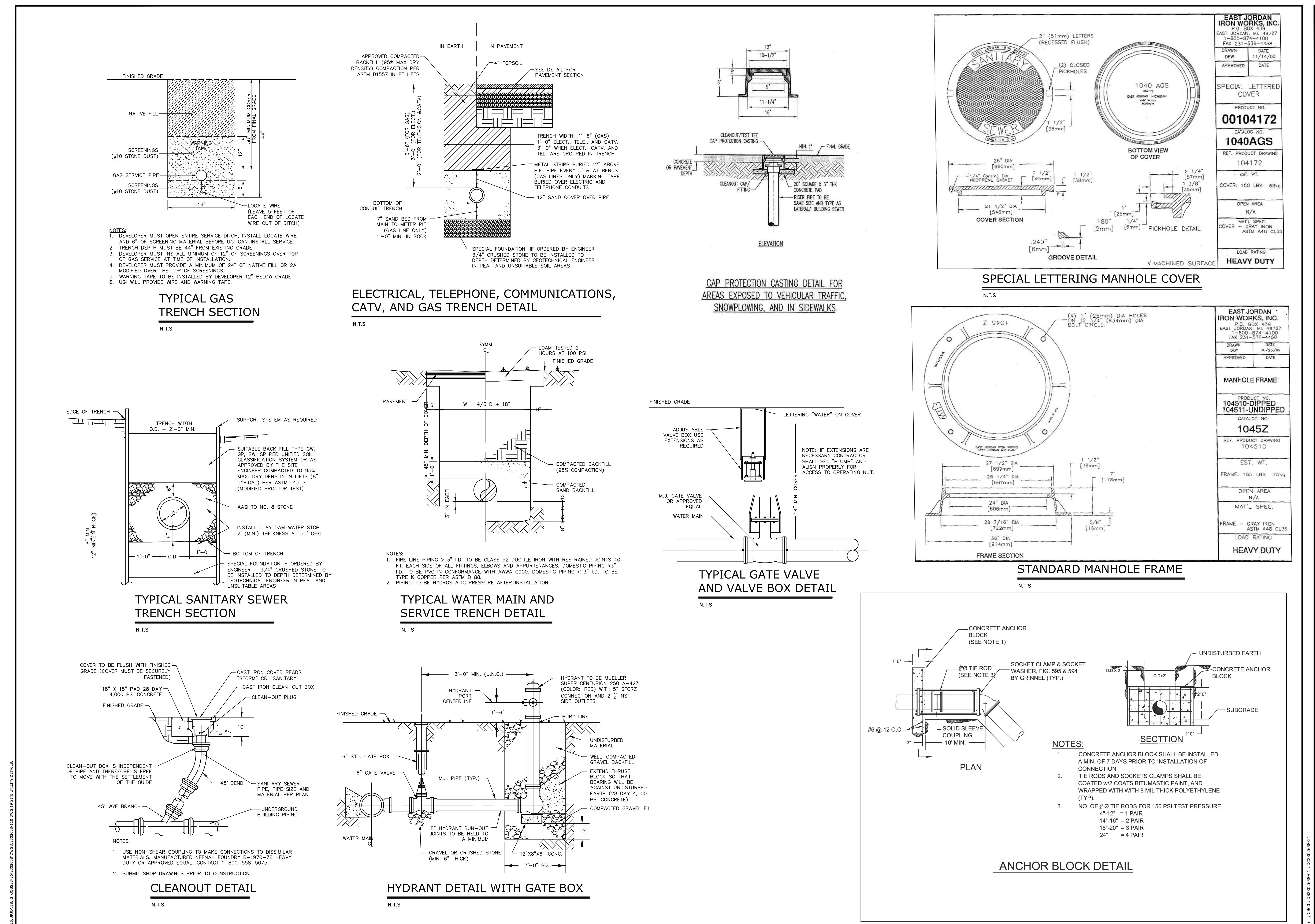
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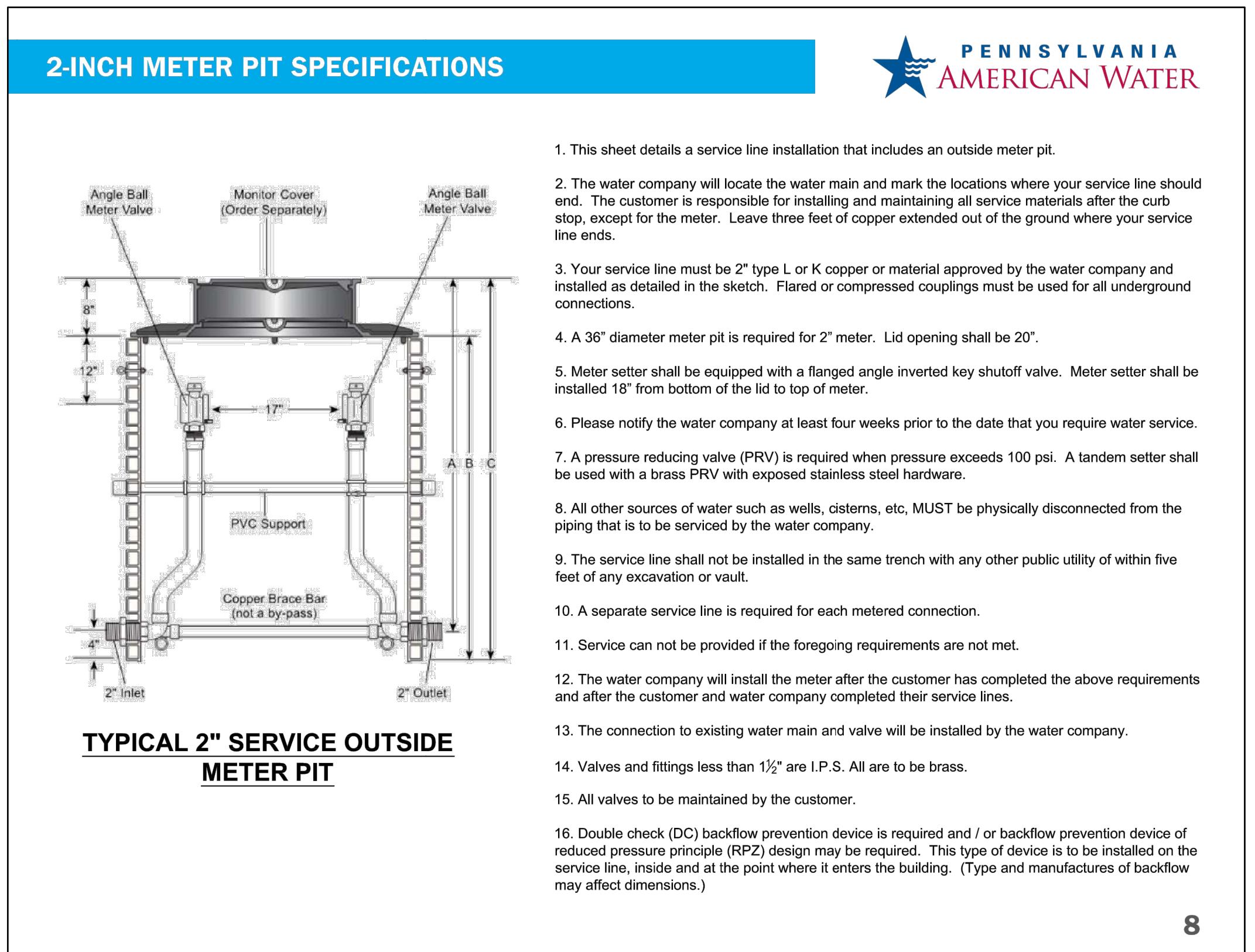
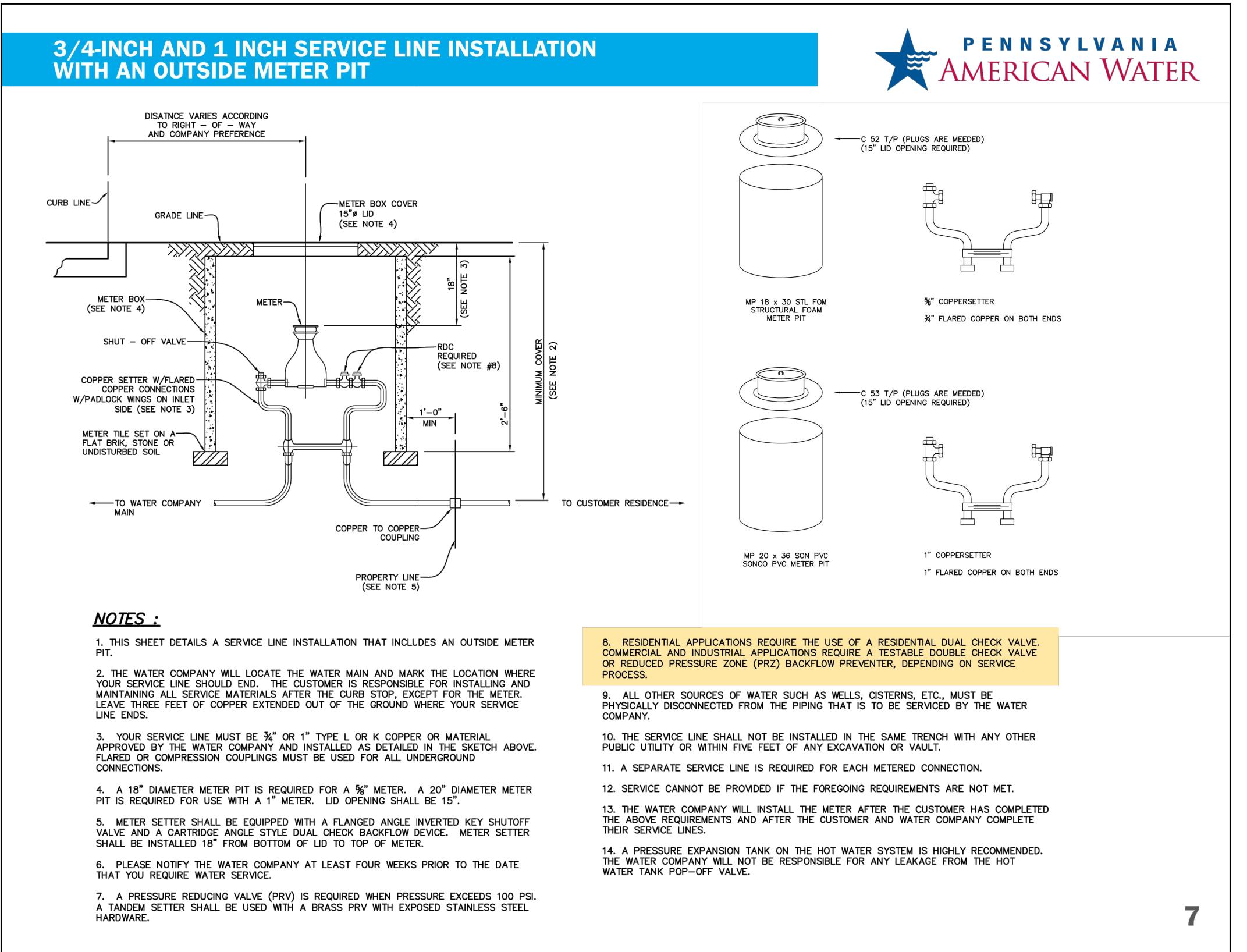
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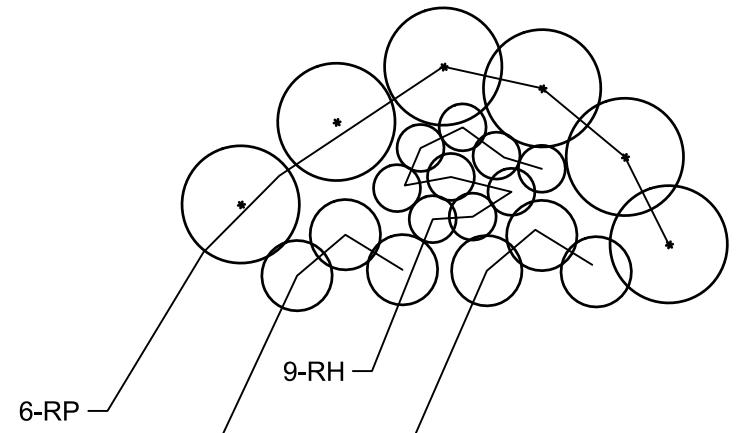
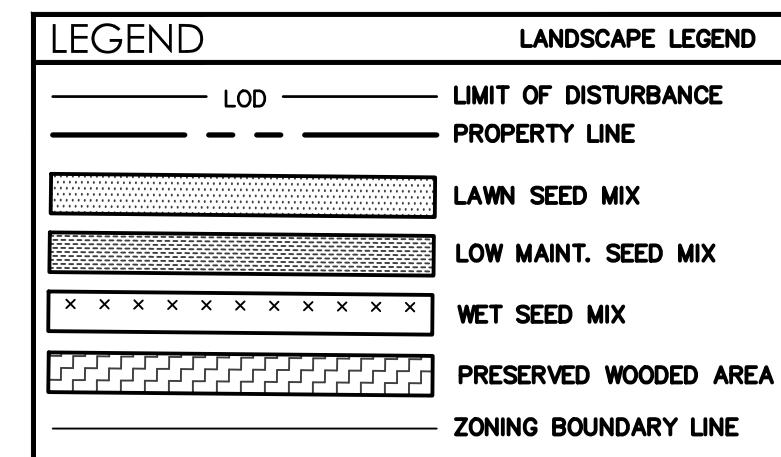
NO. 18 OF 22

2024

C3.01
No. 18 of 22







RAIN GARDEN 1
PLANTING POD DETAIL

N.T.S.

	REQUIRED	PROPOSED	VARIANCE	
§220-200 Landscaping Requirements	A. Frontyard 5% landscape area, contain evergreen and/or deciduous trees at least 1 1/2 inches in caliper, evergreen and/or deciduous shrubs one foot to three feet in height and continuous ground cover. B. Parking area landscaping. 5% interior planting. 1 tree 10 parking spaces A mixture of hardy flowering and/or decorative evergreen and deciduous trees is preferred.	5% 42,096 SF x 5% = 2,105 SF	24.7% 10,394 SF	NO
§220-201 Screening Requirements	A. Dumpster and trash-handling areas. Commercial and industrial uses, when located adjacent to residential uses and/or residential districts. B. For every 50 feet of property line where screening is required, an evergreen or deciduous tree of at least two inches in caliper shall be planted and incorporated into the screening material. C. Screening and buffering requirements for parking areas located adjacent to residential uses. A front yard setback for any parking area equal to at least half of that required for the adjacent residential use. A wall, hedge or earthen berm shall be placed along the perimeter of the parking area adjacent to the residential use, within a buffer yard of five feet, in addition to the required yard setbacks.	42 SP / 10 = 4.2 trees	6 trees	NO
§220-242 Parking Requirements	L.3. Except at entrance and exit drives, the parking area shall be physically separated from any public and/or private streets with a minimum six-foot-wide planting strip.	6 ft wide planting strip around parking when fronting street	6 ft wide planting strip are proposed with screening shrubs	NO
§192-58.C.5.a Street Requirements	a. Along streets and access drives where street trees are required, an average of one street tree shall be required for every 50 feet of distance along the street right-of-way line on each affected side of the street. Where a right-of-way does not exist, an average of one street tree shall be required for every 50 feet of length of cartway on each side of the cartway.	1,007 linear ft of street right-of-way / 50 = 22 trees	22 trees	NO
§220-243.B.1	5% of interior At least 5% of the interior parking area shall be landscaped with plantings, including one tree per every 10 parking spaces. Planting required within the parking lot is exclusive of other planting and screening requirements.	5 percent 10,712 x .05 = 535 S.F.	28.7 Percent (3,077 S.F.)	NO

PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CANOPY TREES					
AO	5	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" CAL. 6' HT MIN
BN	1	1	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	2" CAL. 6' HT. MIN.
GI	3	3	GLEDTIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	2" CAL. 6' HT. MIN.
EVERGREEN TREES					
PP	7*	1	PICEA PUNGENS	BLUE SPRUCE	4' HT. MIN.
ORNAMENTAL TREES					
AL	4	1	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	1.5" CAL. 6" HT MIN.
CC	4	1	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CAL. 6" HT MIN.
SHRUBS					
HV	39	1	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	3 GAL. MIN. 18"-21" HT. AND SPREAD CONT. 48" o.c.
IG	125	1	ILEX GLABRA	INKBERRY HOLLY	3 GAL. MIN. 18"-21" HT. AND SPREAD CONT. 48" o.c.
BASIN PLANTINGS					
RP	18	1	ROSA PALUSTRIS	SWAMP ROSE	2 GAL. MIN. 36"-120" HT. AND SPREAD CONT.
AA	18	1	ARONIA ARBUTIFOLIA	RED CHokeBERRY	2 GAL. MIN. 6"-8" HT. AND SPREAD CONT.
RH	27	1	ECHINACEA PURPUREA	CONEFLOWER	2 GAL. MIN. 24"-48" HT. AND 18"-24" SPREAD CONT.

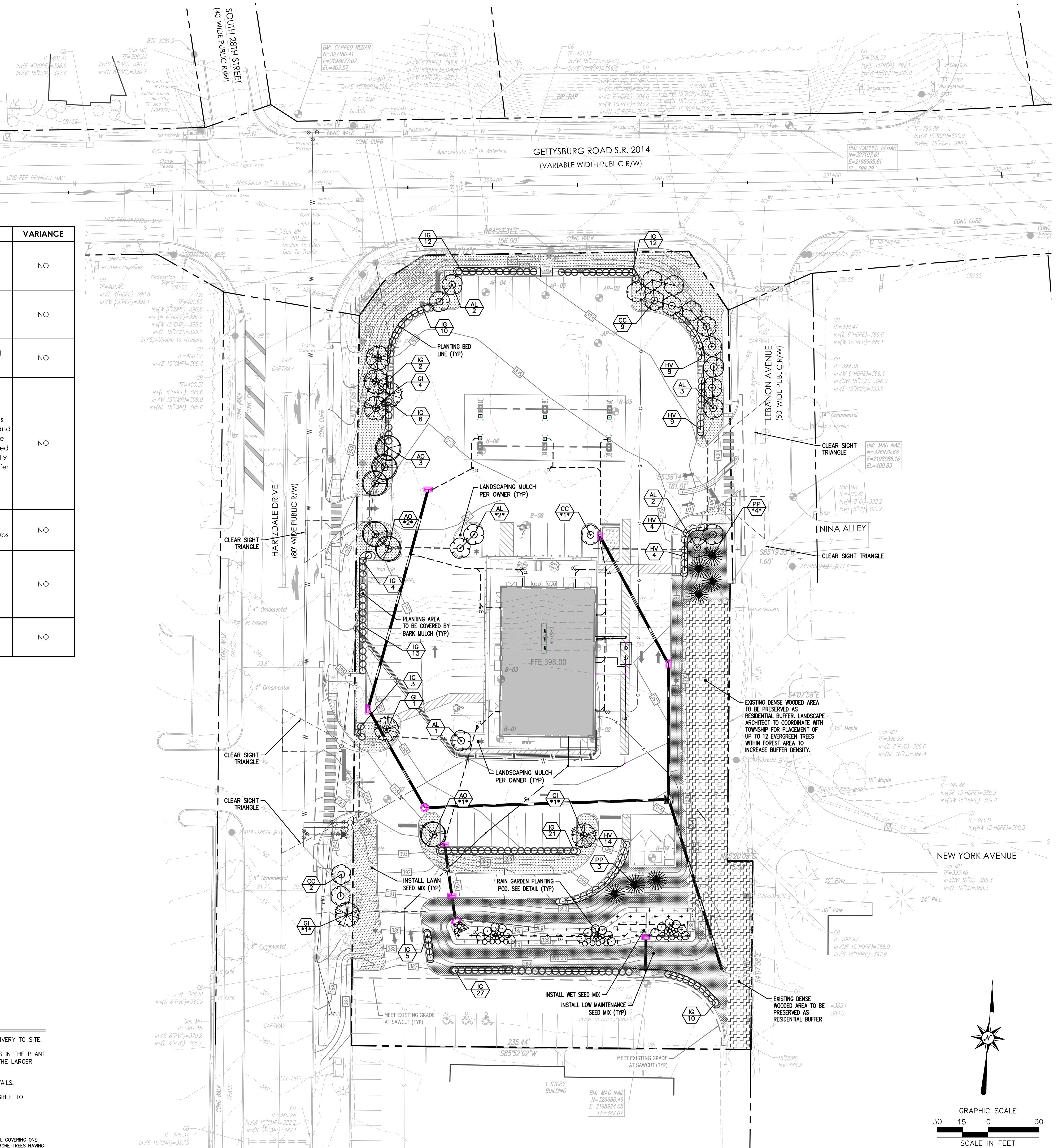
*ADD UP TO 12 ADDITIONAL TREES (19 TOTAL) FOR ADDITIONAL PLANTINGS WITHIN PRESERVED WOODED AREA.



GENERAL NOTES

- ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS. THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
- FOR ALL EXISTING PLANTING AREAS WITHIN THE PROPERTY LINE, THE CONTRACTOR IS RESPONSIBLE TO REPLACE DISEASED OR DEAD TREES AND SHRUBS WITH MATCHING SPECIES.
- ALL TREE PLANTINGS DENOTED BY (**) ARE PLANTINGS DESIGNATED TO BMP #3.
- SITE CURRENTLY CONTAINS APPROXIMATELY 0.45 ACRES OF CANOPY TREES.

PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 2224040104, 20240401067 & 2024051229



LANDSCAPE NOTES

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER'S OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER, AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANT MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTING, MAINTENANCE, AND CARE OF ALL PLANTS MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
- IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUED PER DETAIL.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRaining. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 3" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SOS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

ORGANIC CONTENT	3% - 6% FOR LAWN OR GRASS AREAS. 4% - 8% FOR TREE AND SHRUB PLANTERS. 8% - 16% FOR RETENTION OR DETENTION BASINS.
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(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)

PH	6.0 - 7.3
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- NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQIN.
- E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL HERBICIDE APPLICATIONS MUST BE LICENSED IN THE STATE OF PENNSYLVANIA, AND PERFORM APPLICATIONS IN CONFORMANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
 - LOAM
 - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.
 - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
 - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
 - SOIL SHALL NOT HAVE A PUNCTURE RESISTANCE GREATER THAN 1/2" AND 1/2" PER HOUR.
- H. MODIFICATIONS TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

- PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL BE GROWN AT THE CONTRACTOR'S NURSERY OR PLANTING SITE. PLANTS SHALL NOT BE PLANTED UNLESS APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TREATED OF THEIR SPECIES OR VARIETIES. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENTS SPECIFIED. PLANTS LARGER THAN SPECIFIED MAY BE APPROVED. PLANTS OF THE SPECIFIED SIZES SHALL NOT INCREASE IN SIZE OR CONTRACT PINE, ALL OUTDOOR PLANTING AREAS, SIDEWALKS AND PEDESTRIAN ACCESS AREAS, SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

- INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS.

PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUALITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

- PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

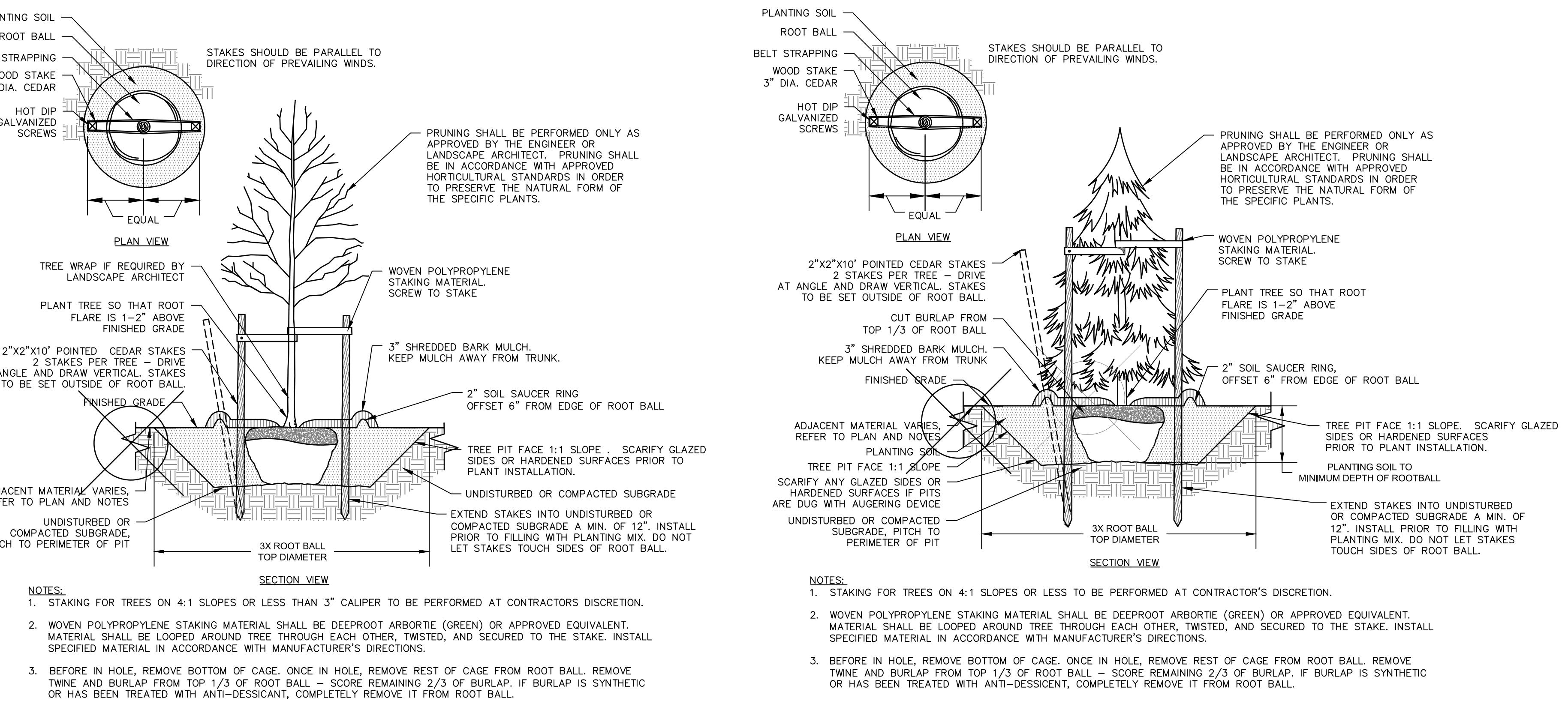
SPRING	APRIL 1 TO JUNE 15	FALL	SEPTEMBER 1 TO OCTOBER 15
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- SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEADED AREA SHALL BE ACCEPTED WHEN SEADED AREA ACHIEVES 90% COVERAGE.

- ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

- UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEADED WITH THE LAWN SEED MIX.



DECIDUOUS TREE PLANTING

N.T.S.

NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEPROOT ABRASIVE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPEd AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

EVERGREEN TREE PLANTING

N.T.S.

NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEPROOT ABRASIVE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPEd AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

SEED MIX NOTES

N.T.S.

A.

1. LAWN SEEDING MIX:
15% PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25% FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60% KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

B.

2. LOW MAINTENANCE SEED MIX:
ERNMX-310 - NC STEEP SLOPE MIX
ERNST SEEDS OR APPROVED EQUAL

- 22.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILDRYE, MADISON-NY ECOTYPE)
21.7% SORGHASTRUM NUTANS, PA ECOTYPE (INDIANGRASS, PA ECOTYPE)
18.0% PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE (SWITCHGRASS, 'CARTHAGE', NC ECOTYPE)
18.0% SCHIZACHYRUM SCOPARIUM, 'ALDOUS' (LITTLE BLUESTEM, 'ALDOUS')
15.0% TRIDENS FLAVUS (PURPLETOP)
1.3% CHAMAECRISTIS FASCICULATA, FL ECOTYPE (PARTRIDGE PEAS, FL ECOTYPE)
1.3% COREOPSIS LANCEOLATA (LANCELEAF COREOPSIS)
1.3% RUDBECKIA HIRTA (BLACKEYED SUSAN)
1.0% BIDENS ARISTOS, COASTAL PLAIN NC ECOTYPE (SHOWY TICKSEED SUNFLOWER (BUR MARIGOLD), COASTAL PLAIN NC ECOTYPE)
0.2% MONARCA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)
0.2% TRADESCANTIA OHIENSIS, PA ECOTYPE (OHIO SPIDERWORT, PA ECOTYPE)

APPLICATION RATE: 45 LBS/ACRE

COVER CROP USE ONE OF THE FOLLOWING: GRAIN OATS (30 LBS/ACRE; 1 JAN TO 30 APR), BROWN TOP MILLET (10 LBS/ACRE; 1 MAY TO 31 AUG), OR GRAIN RYE (30 LBS/ACRE; 1 SEP TO 31 DEC)

SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30

UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

C.

3. WET SEED MIX:
ERNMX-183 - NATIVE DETENTION AREA SEED MIX
ERNST SEEDS OR APPROVED EQUAL

- 26.0% PANICUM CLANDESTINUM, TIoga (DEERTONGUE, TIoga)
25.0% PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE (SWITCHGRASS, CARTHAGE, NC ECOTYPE)
20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
20.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILDRYE, MADISON-NY ECOTYPE)
4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE)
3.0% JUNCUS EFFUSUS (SOFT RUSH)
1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE)
1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)

APPLICATION RATE: 60 LBS/ACRE: 1000 SF/LB

SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30

UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.



SHRUB PLANTING

N.T.S.

NOTES:

1. SET TOP OF ROOT BALL AT OR SLIGHTLY ABOVE FIN. GRADE
FINISHED GRADE
2. PLANTING SOIL
CUT BURLAP FROM TOP 1/3 OF ROOT BALL
3. 3" SHREDDED BARK MULCH.
KEEP MULCH AWAY FROM TRUNK
4. ADJACENT MATERIAL VARIETIES, REFER TO PLAN AND NOTES
SCARIFY ANY GLAZED SIDES OR HARDENED SURFACES IF PITS ARE DUG WITH AUGER DEVICE
5. GENTLY TEASE ROOTS FROM SIDE OF ROOT BALL.
UNDISTURBED OR COMPACTED SUBGRADE

PLANT CENTER

"D" VARIETIES: SEE LANDSCAPE SCHEDULE FOR SPACING OR PLANT AS DIRECTED BY LANDSCAPE ARCHITECT

PLANT ROW

SPACING AS SPECIFIED



NOTES:

1. KEEP BARE ROOT PLANTS MOIST AND SHAPED DURING INSTALLATION
LOOSEN CIRCLING ROOTS
CONTAINER GROWN PLANTS
2. 3" SHREDDED BARK MULCH.
KEEP MULCH AWAY FROM TRUNK
3. FINISHED GRADE
4. ADJACENT MATERIAL VARIETIES, REFER TO PLAN AND NOTES
SCARIFIED SUBGRADE
5. 12" MINIMUM PLANTING SOIL
UNDISTURBED OR COMPACTED SUBGRADE

GROUNDCOVER PLANTING

N.T.S.

