

VICINITY MAP

SCALE: 1"=500'

ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. DESIGN SERIAL NUMBER IS 20240512299, SUBMITTED ON 02/20/2024.

UTILITIES AND RESPONSES PROVIDED BY PA ONE CALL:

(AX) PENNSYLVANIA AMERICAN WATER COMPANY
852 WESLEY DRIVE
MECHANICSBURG, PA 17055
CONTACT: JEFF DREW
PHONE: 717-550-1516
EMAIL: jeff.drew@amwater.com

(ET) FRONTIER COMMUNICATIONS OF PA INC
300E LAIRD ST
WILKES BARRE, PA 18702-7025
CONTACT: MICHAEL NAVICH
EMAIL: michael.navich@ftr.com

(HC) VERIZON PENNSYLVANIA LLC
1026 HAY STREET
PITTSBURGH, PA 15221
CONTACT: SEAN BRANNEN
PHONE: 717-675-4780
EMAIL: sean.e.brannen@one.verizon.com

(LA1) LOWER ALLEN TOWNSHIP SEWER AUTHORITY
120 LIMEKILN RD
NEW CUMBERLAND, PA 17070
CONTACT: BRIAN KAUFFMAN
PHONE: 717-774-0610
EMAIL: bkauffman@latwp.org

(PRD) PPL ELECTRIC UTILITIES CORPORATION
437 BLUE CHURCH RD
PAXINOS, PA 17860
CONTACT: 570-490-5684
CONTACT: DOUG HAUP
EMAIL: dlhaupt@pplweb.com

(SB) COMCAST
4601 SMITH ST.
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: mike_sweigard@cable.comcast.com

(UI) UGI UTILITIES INC
1301 AIP DRIVE
MIDDLETOWN, PA 17057
CONTACT: GEOFFREY FERGUSON
EMAIL: gferguson@ugl.com

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5	C0.00	DEMOLITION PLAN
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SUPPLEMENTAL PLANS

1. TRUCK TURNING PLAN
2. EXTERIOR LIGHTING LAYOUT PLAN, PREPARED BY RED LEONARD ASSOCIATES, INC.

FINAL LAND DEVELOPMENT PLAN SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE 3303 HARTZDALE DRIVE LOWER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA

PREPARED FOR:



Sheetz, Inc.

5700 Sixth Avenue
Altoona, PA 16602
(814) 946-3611

PREPARED BY:



ARCHITECTURE
ENGINEERING
ENVIRONMENTAL
LAND SURVEYING

2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 651-9850

VARIANCES REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING VARIANCES OF THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

\$220-239(A). REQUIRED OFF-STREET PARKING SPACES

ACTION
APPROVED

DATE
09/20/2024

WAIVERS REQUESTED

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- | | ACTION | DATE |
|------------------------------------------------------------------------------------------|----------|----------|
| 1. \$192-30.A - PRELIMINARY PLAN SUBMISSION | APPROVED | 02/24/25 |
| 2. \$192-58.E.10 - PARKING LOT PLANTING ISLANDS DESIGNED TO COLLECT STORMWATER | APPROVED | 02/24/25 |
| 3. \$192-59.C.2 - PARKING SPACES ADJACENT TO END ISLANDS SHALL BE AN ADDITIONAL 2' WIDTH | APPROVED | 02/24/25 |
| 4. \$192-57.C.8 - CURBS
(TRANSITION FROM LEBANON ROAD TO NEW YORK AVENUE) | APPROVED | 02/24/25 |
| 5. \$192-57.C.9 - SIDEWALKS
(TRANSITION FROM LEBANON ROAD TO NEW YORK AVENUE) | DEFERRED | 02/24/25 |

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.

APPROVED THE 9th DAY OF February, 2025.
CONDITIONS OF APPROVAL COMPLETED THIS 14th DAY OF May, 2025.

PRESIDENT Jennifer H. Caron SECRETARY Rebecca L. Davis

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS 21st DAY OF May, 2025.

INSTRUMENT NO. 202509800

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

Ron Lewis
RON LEWIS, P.L.S.
REG. NO. P.L.S. SU61596

APRIL 15, 2025
DATE



LOWER ALLEN TOWNSHIP ACT 167 STORMWATER DESIGN CERTIFICATION

JOSHUA B. WEIDLER, P.E., DESIGN ENGINEER, ON THIS DATE APRIL 12, 2025,
HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ORDINANCE.

Joshua B. Weidler
JOSHUA B. WEIDLER
REG. NO. 075259

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATION

REVIEWED THIS 30 DAY OF SEP., 2024 BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

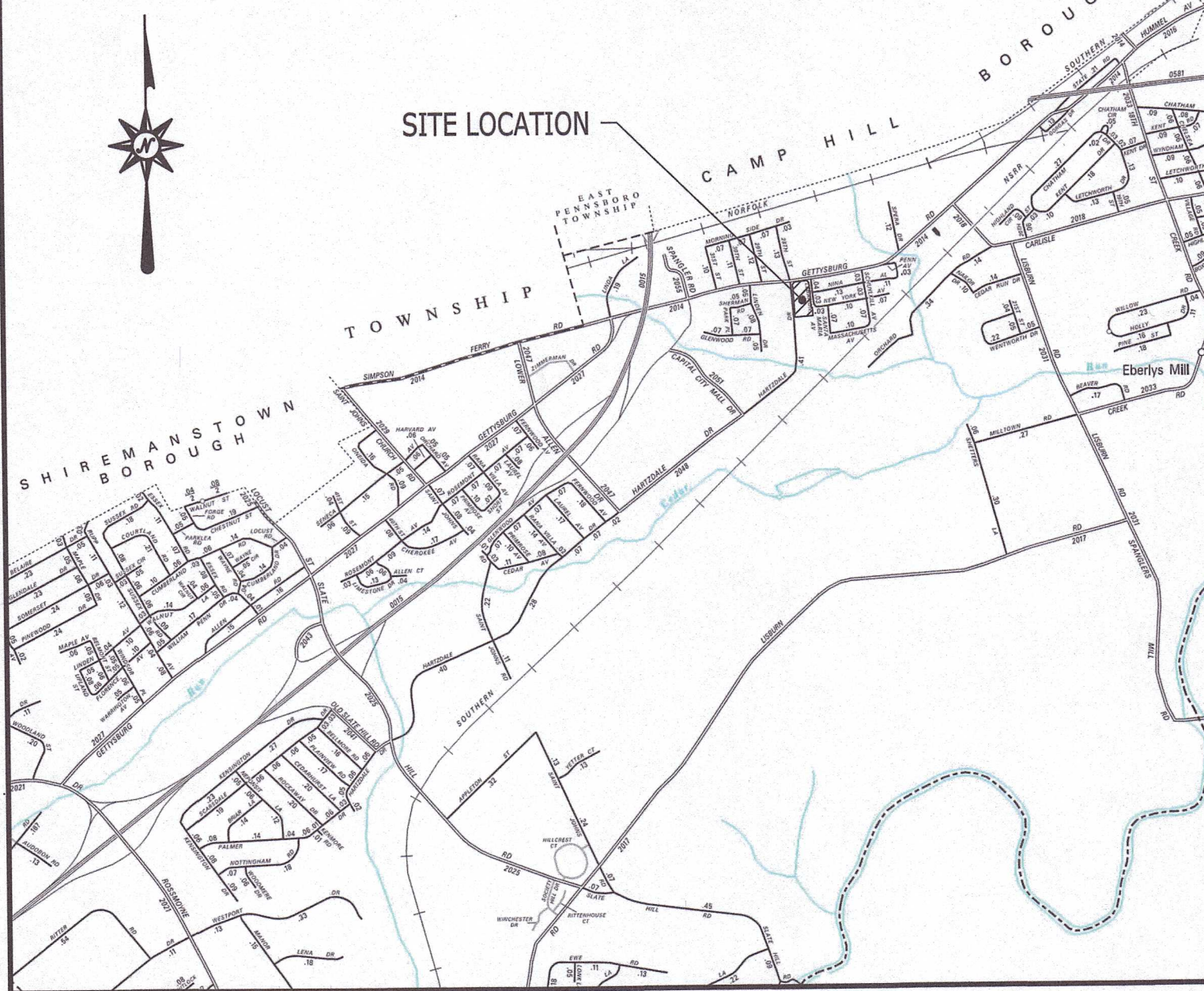
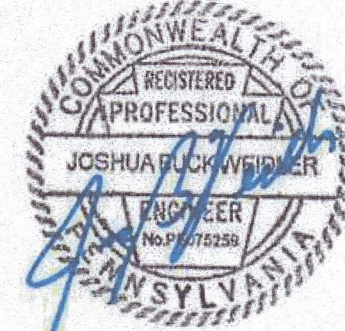
Wesley (SH)
DIRECTOR OF PLANNING

ENGINEER'S CERTIFICATION

I, JOSHUA B. WEIDLER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

Joshua B. Weidler
JOSHUA B. WEIDLER
REG. NO. 075259

APRIL 15, 2025
DATE



LOCATION MAP

SCALE: 1"=2000'

ACKNOWLEDGEMENT OF STORMWATER MANAGEMENT FACILITIES

I ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs TO BE PERMANENT FIXTURES CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY (SECTION 184-22.E.11)

OWNER Daniel Farrow-Farrow Holdings LLC OWNER David J. Becker

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF SS

ON THIS, THE 6th DAY OF May, 2025, BEFORE ME, Laurie L. Swartz,
THE

UNDERSIGNED OFFICER, PERSONALLY APPEARED David J. Becker, KNOWN TO ME (OR SATISFACTORILY PROVEN

TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED

THAT David J. Becker EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO
SET MY HAND AND OFFICIAL SEAL

NOTARY

David J. Becker
OWNER Daniel Farrow-Farrow Holdings LLC MY COMMISSION EXPIRES Dec 19, 2027.
Please see the attached 175
Jurat/Acknowledgment
Certificate

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Cumberland

ON THIS, THE 6th DAY OF May, 2025, BEFORE ME, Laurie L. Swartz,
THE

UNDERSIGNED OFFICER, PERSONALLY APPEARED David J. Becker, KNOWN TO ME (OR SATISFACTORILY PROVEN

TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED

THAT David J. Becker EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO
SET MY HAND AND OFFICIAL SEAL

NOTARY

David J. Becker
OWNER David J. Becker MY COMMISSION EXPIRES Dec 19, 2027.
Commonwealth of Pennsylvania - Notary Seal
Laurie L. Swartz - Notary Public
Dauphin County
My Commission Expires December 28, 2027
Commission Number 1354254

DEVELOPMENT SCHEDULE

LAND DEVELOPMENT APPROVAL WINTER 2025
BUILDING PERMIT SPRING 2025
CONSTRUCTION START SPRING 2025
CONSTRUCTION END SPRING 2026

PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS TO PERMIT FOR THE CONSTRUCTION OF A NEW 6,139 S.F. SHEETZ CONVENIENCE STORE INCLUDING FUEL SALES WITH ALL ASSOCIATED SITE IMPROVEMENTS SUCH AS PARKING, STORMWATER, UTILITIES, ETC AND PROVIDE LOT CONSOLIDATION.

DATES

ISSUE DATE: SEPTEMBER 16, 2024
REVISION DATE: OCTOBER 29, 2024
JANUARY 31, 2025
MARCH 12, 2025
APRIL 15, 2025

DEVELOPER/APPLICANT

SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602
C/O JESSICA L. URBAS, P.E., PMP
PHONE NO. (814) 946-3611

OWNERS

FARROW HOLDINGS LLC
2501 GETTYSBURG ROAD
CAMP HILL, PA 17011
DAVID J. BECKER
3303 HARTZDALE DRIVE
CAMP HILL, PA 17011

GO.00 No. 1 of 22

SITE WORK GENERAL NOTES

1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND IS NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL; SHEET; INC. STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE AS THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTRACTOR POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
6. CONTRACTOR SHALL SUBMIT AN AS-BUILT TOPOGRAPHIC SURVEY PREPARED AND STAMPED BY A LICENSED ENGINEER TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION. AS-BUILT SURVEY SHALL COMPLY WITH ALL NOTES NOTICE OF TERMINATION REQUIREMENTS, MUNICIPAL ORDINANCE REQUIREMENTS AND INCLUDE ALL SITE ELEMENTS, TOPOGRAPHY, STORMWATER MANAGEMENT FACILITY STRUCTURES/BASINS AND LANDSCAPE ELEMENTS.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
10. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS. STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
11. A PA ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 20240512299.
12. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
13. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BIDDING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
14. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
15. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
16. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
17. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEEMED UNACCEPTABLE.
19. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
20. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
21. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
22. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
23. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, AND THE RAISED CONCRETE SIDEWALKS, LANDINGS, AND RAMPS.
24. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
25. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
26. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
27. TRAFFIC CONTROL. SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
28. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
29. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
30. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
31. PAVEMENT MARKING KEY:
- 4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
32. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SYL AT A 45° ANGLE. 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
33. ALL PAVEMENT MARKINGS, PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED.
34. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTIC.
35. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
36. THE TOPOGRAPHY SURVEY AND PROPERTY BOUNDARY DATA IS BASED ON THE DRAWING TITLED "EXISTING CONDITIONS PLAN", SCALE 1"=40', DATED 04/09/2024, BY BISCON.
37. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
38. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC WATER.
39. THE PROPOSED DEVELOPMENT IS TO BE SERVED BY PUBLIC SEWER.
40. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
41. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY U.S. FISH & WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAPPING AND FIELD OBSERVATIONS.
42. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
43. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
44. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
45. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
46. THE CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
47. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
48. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
49. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
50. VERTICAL DATUM IS NAVD 88.
51. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT AGENT PRIOR TO THE START OF WORK ON THE SITE.
52. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP AND THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
53. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
54. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
55. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
56. THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY ARCHITECT AND/OR MEP ENGINEER FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
57. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
58. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
59. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
60. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
61. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
62. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
63. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
64. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
65. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
66. CONTRACTOR TO PROVIDE STEEL SLEEVES, OR APPROVED EQUAL IN ACCORDANCE WITH ARCHITECTURE PLANS, AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
67. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
68. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
69. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
70. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
71. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
72. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
73. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
74. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
75. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
76. ELECTRIC, AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL TWO (2") PVC CONDUITS FOR TELECOMMUNICATIONS SERVICES, TWO (2") PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, SHALLOED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
77. ALL WATER LINES TO HAVE A MINIMUM COVER OF THREE (3) FEET. ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
78. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
79. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
80. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
81. PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
82. CAST IRON SOIL PIPE (CISP) AND FITTINGS SHALL BE EXTRA HEAVY BELL & SPIGOT WITH NITRILE GASKET JOINTS IN ACCORDANCE WITH ASTM A74 & C564-(LATEST REVISION).
83. POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
84. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL BE WATERTIGHT AND CONFORM TO THE REQUIREMENTS OF ASTM C-443.
85. ALUMINIZED STEEL STORM SEWER PIPING SHALL BE CORRUGATED 16 GAUGE TYPE 2 ALUMINIZED STEEL PIPE. "N"= .013 UP TO 36" DIAMETER AND SHALL BE 14 GAUGE TYPE 2 A.S.P. FOR PIPES 36" AND LARGER THAN 36" DIAMETER. ALL PIPE TO HAVE CONTINUOUS CORRUGATION BAND COUPLINGS WITH BAR AND STRAP CONNECTIONS AND GASKETS.
86. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
87. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 292, WATERTIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
88. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 242, WATERTIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
89. DUCTILE IRON PIPE FOR STORM DRAINAGE PIPING SHALL CONFORM TO AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A 214. DI STORM PIPE SHALL BE PUSH ON JOINT WITH RUBBER GASKET.
90. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
91. PE WATER PIPING SHALL CONFORM TO AWWA C901.
92. POLYVINYL CHLORIDE (PVC) PIPE FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
93. DUCTILE IRON PIPE SHALL CONFORM TO LOCAL JURISDICTION OR AWWA C151 FOR CLASS 52 WITH CEMENT LINING IN ACCORDANCE WITH ANSI A21.4 FOR WATER MAINS AND SERVICES 3" ID AND LARGER. JOINTS SHALL BE MADE WITH CONCRETE THRUST BLOCKS OR WITH MEAGALLUM RETAINER GLANDS OR WITH RODS IN ACCORDANCE WITH PRECAST MANUAL SPECIFICATIONS AND IN ACCORDANCE WITH WATER UTILITY PROVIDER REQUIREMENTS TO EXTEND A MINIMUM OF 2 PIPE LENGTHS IN EITHER DIRECTION FROM FITTINGS AND ELBOWS (40 FT MINIMUM). ALL OTHER JOINTS SHALL BE PUSH-ON WITH RUBBER GASKETS (TYTON). USE OF OTHER TYPES OF RETAINER GLANDS SHALL REQUIRE USE WITH CLASS 53 OR GREATER DUCTILE IRON PIPE.
94. PVC WATER MAIN PIPING SHALL CONFORM TO AWWA C900.
95. GAS PIPE MATERIAL SHALL BE PER GAS COMPANY REQUIREMENTS.
96. ALL WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SPECIFICATIONS AND PUBLICATION 72, ROADWAY CONSTRUCTION STANDARDS, UNLESS OTHERWISE NOTED.
97. WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
98. A RIGHT-OF-WAY PERMIT IS REQUIRED BEFORE STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
99. ALL STORM DRAINAGE PIPE SHALL BE SMOOTH INTERIOR UNLESS OTHERWISE NOTED.
100. THE LOT OWNERS ARE REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
101. MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.
102. CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
103. CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION SITE MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
104. SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
105. PROPOSED SIGNS WILL BE PERMITTED SEPARATELY AND WILL COMPLY WITH THE STANDARDS FROM THE LOWER ALLEN TOWNSHIP ZONING CODE SECTION 220-248.
106. TREES ON SITE SHALL NOT BE REMOVED BETWEEN MAY 15 AND AUGUST 15.
107. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY SWM BMPs, FACILITIES, AREAS, STRUCTURES, OR EASEMENTS THAT WERE INSTALLED/APPROVED AS A REQUIREMENT OF CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
108. THE APPLICANT SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS OF ALL SWM BMPs INCLUDED IN THE APPROVED SWM SITE PLAN. THE AS-BUILT PLANS AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY.
109. THE AS-BUILT SUBMISSION SHALL INCLUDE CERTIFICATION OF COMPLETION SIGNED BY A QUALIFIED PROFESSIONAL VERIFYING THAT ALL PERMANENT SWM BMPs HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS. THE LATITUDE AND LONGITUDE COORDINATES FOR ALL PERMANENT SWM BMPs MUST ALSO BE SUBMITTED, AT THE CENTRAL LOCATION OF THE BMPs. IF ANY LICENSED QUALIFIED PROFESSIONALS CONTRIBUTED TO THE CONSTRUCTION PLANS, THEN A LICENSED QUALIFIED PROFESSIONAL MUST SIGN THE COMPLETION CERTIFICATE.
110. AFTER RECEIPT OF THE COMPLETION CERTIFICATION BY THE MUNICIPALITY, THE MUNICIPALITY MAY CONDUCT A FINAL INSPECTION.
111. THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE INSTALLATION OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES AND BMPs.
112. THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE SITE DEVELOPMENT WORK IN PROGRESS, TO ENSURE COMPLIANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS. INSPECTION FUNCTIONS UNDER THIS SECTION MAY BE DELEGATED BY THE MUNICIPALITY TO ANOTHER ENTITY IF SUCH AGREEMENT IS ENTERED INTO BY THE MUNICIPALITY.
113. DURING ANY STATE OF THE WORK, IF THE MUNICIPALITY ENGINEER DETERMINES THAT THE PERMANENT STORMWATER MANAGEMENT FACILITIES OR BMPs ARE NOT BEING INSTALLED IN ACCORDANCE WITH THE APPROVED SWM SITE PLAN, THE MUNICIPALITY SHALL REVOKE ANY EXISTING MUNICIPAL PERMITS AND/OR ISSUE A STOP-WORK ORDER UNTIL A REVISED SWM SITE PLAN IS SUBMITTED AND APPROVED, AS SPECIFIED IN CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE.
114. UPON PRESENTATION OF PROPER CREDENTIALS, DUTY AUTHORIZED REPRESENTATIVES OF THE MUNICIPALITY MAY ENTER AT REASONABLE TIMES UPON ANY PROPERTY WITHIN THE MUNICIPALITY TO INSPECT THE IMPLEMENTATION, CONDITION, OR OPERATION OF THE STORMWATER BMPs IN REGARD TO ANY ASPECT GOVERNED BY THIS CHAPTER.
115. BMP OWNERS AND OPERATORS SHALL ALLOW PERSONS WORKING ON BEHALF OF THE MUNICIPALITY READY ACCESS TO ALL PARTS OF THE PREMISES FOR THE PROPOSES OF DETERMINING COMPLIANCE WITH CHAPTER 184 OF THE MUNICIPALITY'S ORDINANCE.
116. PERSONS WORKING ON BEHALF OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO TEMPORARILY LOCATE ON ANY BMP IN THE MUNICIPALITY SUCH DEVICES AS ARE NECESSARY TO CONDUCT MONITORING AND/OR SAMPLING OF THE DISCHARGES FROM SUCH BMPs.
117. UNREASONABLE DELAYS IN ALLOWING MUNICIPALITY ACCESS TO A BMP IS A VIOLATION OF CHAPTER 184 IN THE MUNICIPALITY'S ORDINANCE.
118. SWM SITE PLANS APPROVED BY THE MUNICIPALITY, IN ACCORDANCE WITH §184-24, SHALL BE IN SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY.
119. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
120. AT THE TIME A BUILDING PERMIT APPLICATION IS REQUIRED TO BE PROVIDED, A SUBMISSION WITH RETAINING WALL CALCULATIONS SHALL BE PROVIDED. FINAL WALL DESIGN SHALL BE PREPARED BY, SIGNED, AND SEALED BY A LICENSED ENGINEER.
121. ALL SIGNAGE NEEDS TO MEET THE REQUIREMENTS OF ARTICLE XXV.
122. THE APPLICANT SHALL PROVIDE TO THE TOWNSHIP, REPRODUCIBLE AND PAPER, CLEAR AND LEGIBLE COPIES OF THE RECORD PLAN. THE NUMBER OF PLANS TO BE SET BY RESOLUTION OF THE BOARD OF COMMISSIONERS. SUCH RECORD PLAN SHALL BE A SIZE OF 18 INCHES BY 24 INCHES, OR OTHER SIZE AS REQUIRED BY THE COUNTY RECORDER OF DEEDS, AND SHALL, AT A MINIMUM, INCLUDE ALL OF THE FOLLOWING: STREET RIGHT-OF-WAY, ANY COMMON OPEN SPACES AND/OR RECREATION LAND, EASEMENTS AND ANY COVENANTS THAT THE TOWNSHIP REQUIRED TO BE PLACED ON THE FINAL PLAN, LOT LINES AND LOT DIMENSIONS, WATER LINES, SANITARY, AND STORMWATER DRAINAGE FACILITIES, THE REQUIRED SIGNATURE OF TOWNSHIP OFFICIALS AND THE COUNTY PLANNING DEPARTMENT AND THE DATE OF APPROVALS, NOTATIONS STATING WHETHER THE STREET, ANY COMMON OPEN SPACES AND OTHER PROPOSED IMPROVEMENTS ARE TO BE OFFERED OR NOT OFFERED FOR DEDICATION TO THE TOWNSHIP, AND ADDITIONAL INFORMATION FROM THE COMPLETE FINAL PLAN THAT THE TOWNSHIP OR THE COUNTY RECORDER OF DEEDS MAY REQUIRE BE SHOWN.
123. SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY RULES AND REGULATIONS.
124. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.

DEFINITIONS

MUNICIPALITY SHALL MEAN LOWER ALLEN TOWNSHIP

COUNTY SHALL MEAN CUMBERLAND COUNTY

STATE OR COMMONWEALTH SHALL MEAN PENNSYLVANIA

WATER UTILITY PROVIDER SHALL MEAN PENNSYLVANIA AMERICAN WATER

SANITARY UTILITY PROVIDER SHALL MEAN LOWER ALLEN TOWNSHIP AUTHORITY

GAS UTILITY PROVIDER SHALL MEAN UGL UTILITIES

TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN COMCAST, VERIZON, OR FRONTIER COMMUNICATIONS

ELECTRIC UTILITY PROVIDER SHALL MEAN PPL ELECTRIC UTILITIES CORPORATION

DOT SHALL MEAN THE STATE DEPARTMENT OF TRANSPORTATION



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Sheetz, Inc.

5700 Sixth Avenue
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FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS		Desc.
No.	Date	
1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
2	03/31/2025	REVISED PER TOWNSHIP COMMENTS
3	03/11/2025	REVISED PER TOWNSHIP COMMENTS

Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	1" = 30'
Project No.	2302658
Date	09/16/2024

CAD File: G2302658-01

Title

GENERAL NOTES

Sheet No.

G0.01
No. 2 of 22

3/12/2025, 3:05PM, G:\0823\280\202458\DWG\202458-01.dwg EXISTING CONDITION PLAN.



Know what's below.
Call before you dig.

PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299

---	Zoning Boundary Line
---	Property Line
---	Easement Line
---	Setback Line
---	Treeline
---	Major Contour
---	Minor Contour
---	Guide Rail
---	Fence
---	Overhead Wires
---	Underground Electric Line
---	Gas Line
---	Sanitary Sewer
---	Storm Sewer
---	Underground Traffic Signal Cable
---	Water Line

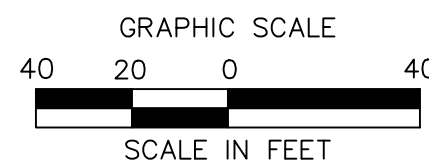
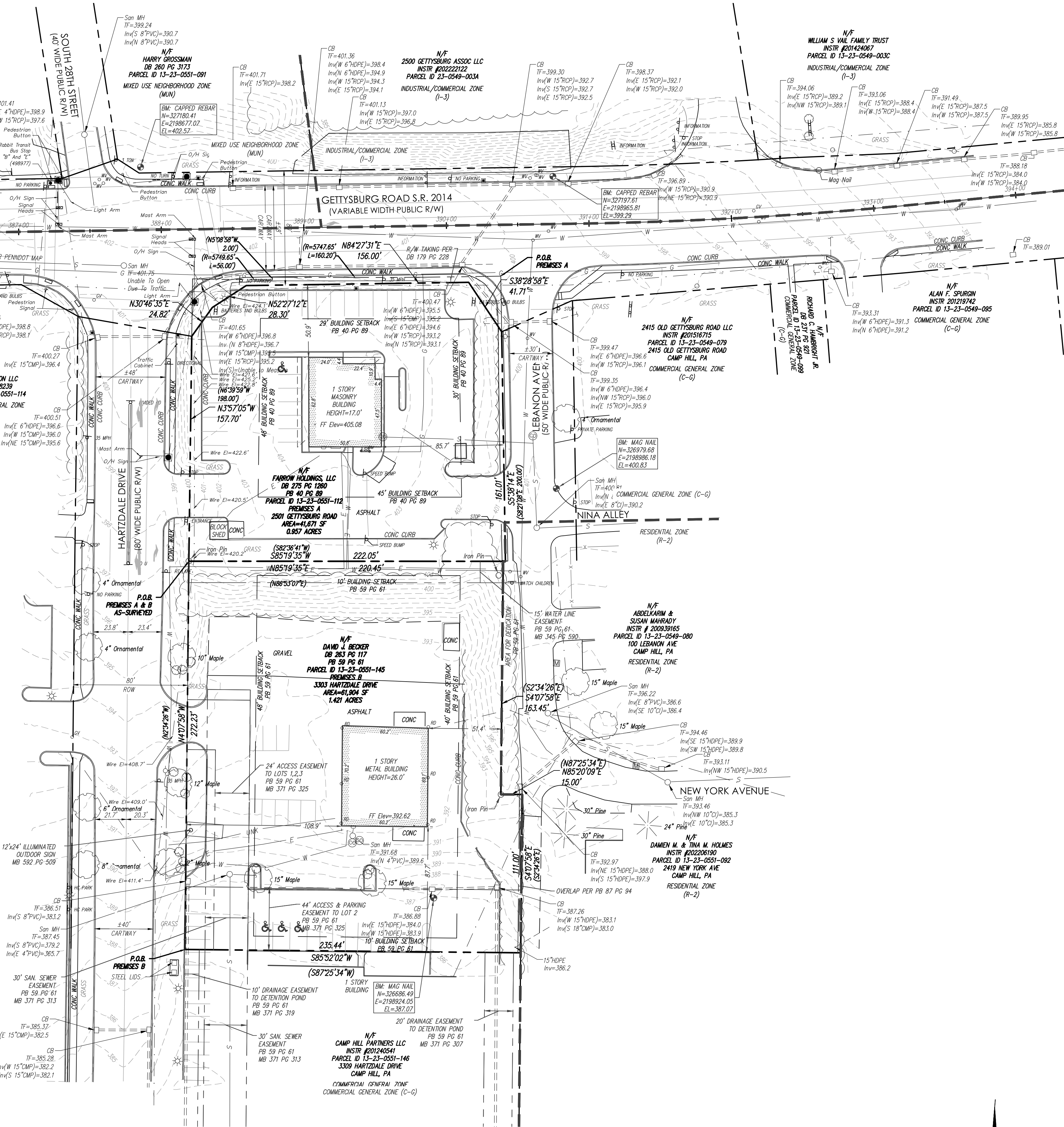
■	Handhole
□	Electric Meter
◆	Utility Pole
◆	Utility Pole w/ Light
○	Guy Wire
○	Gas Valve
○	Gas Meter
○	Cleanout
□	Catch Basin
○	Manhole
○	Roof Drain
○	Span Pole
○	Canterlever Pole
○	Fire Hydrant
○	Water Valve
○	Water Meter
○	Sign
○	Bollard
○	Handicap Symbol
○	Mail Box
○	Shrub
○	Deciduous Tree
○	Coniferous Tree

MAP REFERENCES

- "COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR STATE ROUTE 2014 SECTION 019 R/W" PREPARED BY GEO-TECHNICAL SERVICES, INC., AND BUCHART HORN, INC., DATED 11/25/97.
- "PLAN OF PROPERTY OF ANNE BEST & RICHARD E. BEST" PREPARED BY STEWART WHITTIER & ASSOCIATES, DATED 8/16/78, LAST REVISED 11/29/78, RECORDED IN THE CUMBERLAND COUNTY RECORDER OF DEEDS OFFICE PLAN BOOK 40 PAGE 89.
- "HARTZDALE III, FINAL SUBDIVISION PLAN (LOTS 1, 2&3)" PREPARED BY J. MICHAEL BRILL & ASSOCIATES, INC. CONSULTING ENGINEERS, DATED 7/14/89, LAST REVISED 10/17/90.

GENERAL NOTES

- NORTH ARROW AND BEARINGS BASED ON NAD83 PER GPS READINGS BY BL COMPANIES IN APRIL, 2023 UTILIZING THE KEYNET VRS NETWORK.
- ELEVATIONS AND CONTOURS ARE BASED ON NAVD88 PER GPS READINGS BY BL COMPANIES IN APRIL, 2023 UTILIZING THE KEYNET VRS NETWORK.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.



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FINAL LAND DEVELOPMENT PLAN SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE 3303 HARTZDALE DRIVE LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISED PER TWP. AND COUNTY COMMENTS
REVISED PER TOWNSHIP COMMENTS
REVISED PER TOWNSHIP COMMENTS
REVISED PER TOWNSHIP COMMENTS

Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	1" = 40'
Project No.	2302658
Date	09/16/2024
CAD File:	

EXISTING CONDITIONS PLAN

Sheet No.

V1.00

No. 3 of 22

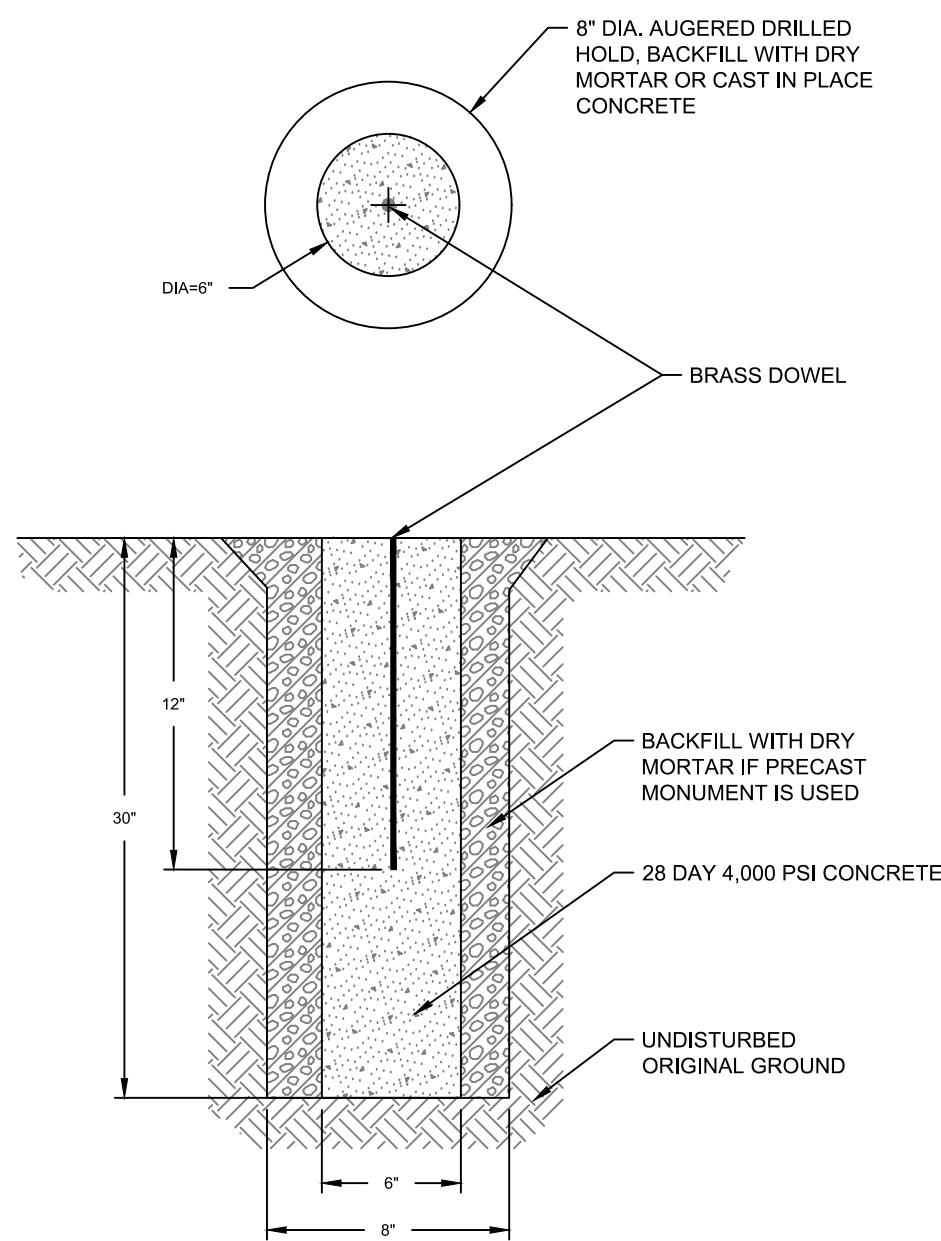
FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

3/12/2025, 3:08PM, G:\08623\030202658\DWG\030202658-02.DWG SUBDIVISION PLAN



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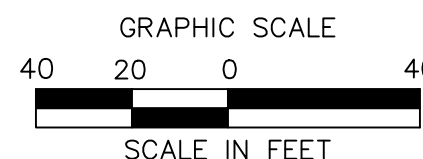
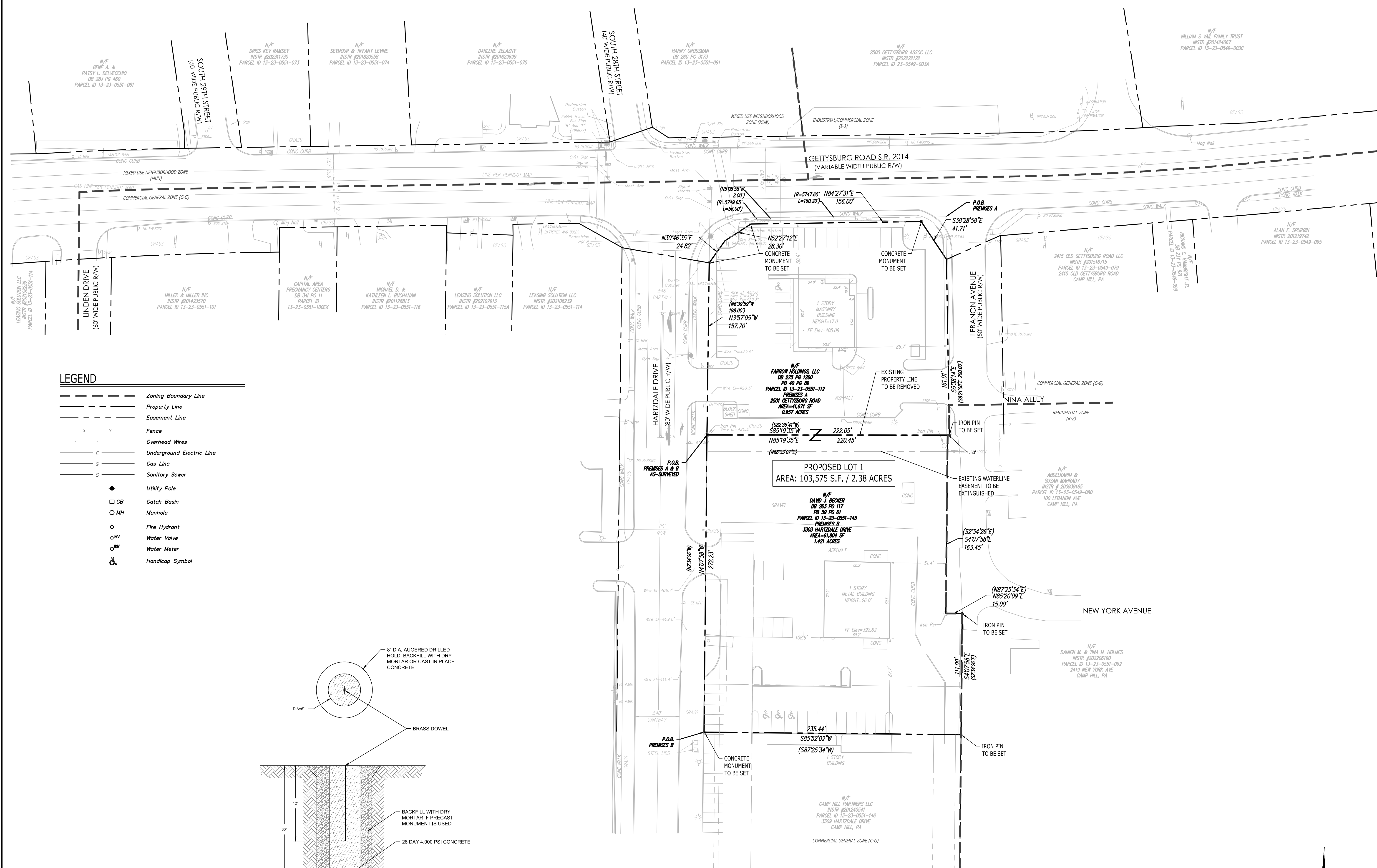


MONUMENT DETAIL

N.T.S.

LEGEND

- Zoning Boundary Line
- Property Line
- Easement Line
- x-x- Fence
- .-.- Overhead Wires
- .-.- Underground Electric Line
- G- Gas Line
- S- Sanitary Sewer
- Utility Pole
- CB Catch Basin
- MH Manhole
- Fire Hydrant
- Water Valve
- Water Meter
- Handicap Symbol



REVISIONS	
No.	Date
1	10/29/2024
2	01/31/2025
3	03/12/2025

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 40'
Project No. 2302658
Date 09/16/2024
CAD File:

Title
SUBDIVISION PLAN

Sheet No.

V2.00
No. 4 of 22

Xref(s) : 1-BDD1 ; XY01



2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665



FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

Disc:
Date
Revised Per Twp. and County Comments
Revised Per Township Comments
Revised Per Township Comments

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 40'
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No. 4 of 22

Xref(s) : 1-BDD1 ; XY01

DEMOLITION NOTES

- ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THIS PLAN ARE TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL ADHERE TO ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES, OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES AND STORM DRAINAGE SYSTEMS, PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEM 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE PENNSYLVANIA AMERICAN WATER COMPANY. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO R.O.W. LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY PENNSYLVANIA AMERICAN WATER COMPANY TO BE REMOVED TO MAIN.
- EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP SEWER AUTHORITY REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY LOWER ALLEN TOWNSHIP SEWER AUTHORITY.
- DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE UGI UTILITIES INC GAS COMPANY REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
- THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE LOWER ALLEN TOWNSHIP ENGINEERING DEPARTMENT, COMCAST TELECOMMUNICATIONS COMPANY, UGI UTILITIES GAS COMPANY, PPL ELECTRIC UTILITIES CORPORATION, THE LOWER ALLEN TOWNSHIP SEWER AUTHORITY, AND PENNSYLVANIA AMERICAN WATER COMPANY AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE LOWER ALLEN TOWNSHIP BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND CONTRACT. FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACK FILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. CONTRACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES PENNDOT/CUMBERLAND COUNTY/LOWER ALLEN TOWNSHIP AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, PAVEMENT MARKINGS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, PENNDOT/CUMBERLAND COUNTY/LOWER ALLEN TOWNSHIP.
- THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINARE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECRUITED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PENNSYLVANIA ONE CALL SYSTEM MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE PADEP AND HEALTH CODE REQUIREMENTS.
- ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOBSITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY, AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- NO TREE CLEARING SHALL TAKE PLACE BETWEEN MAY 15TH AND AUGUST 15TH IN COMPLIANCE WITH THE AVOIDANCE MEASURE PROPOUNDED BY THE U.S. FISH AND WILDLIFE SERVICE.

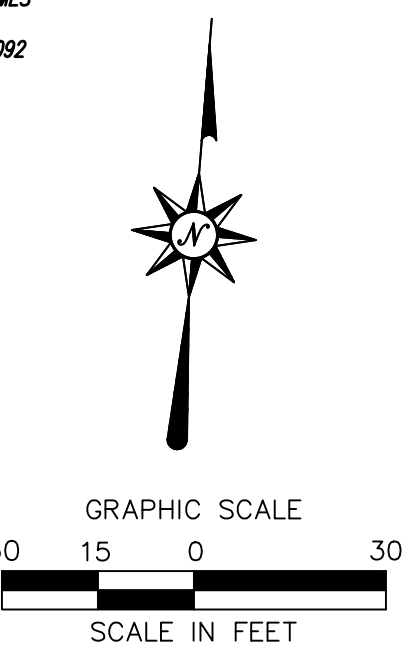
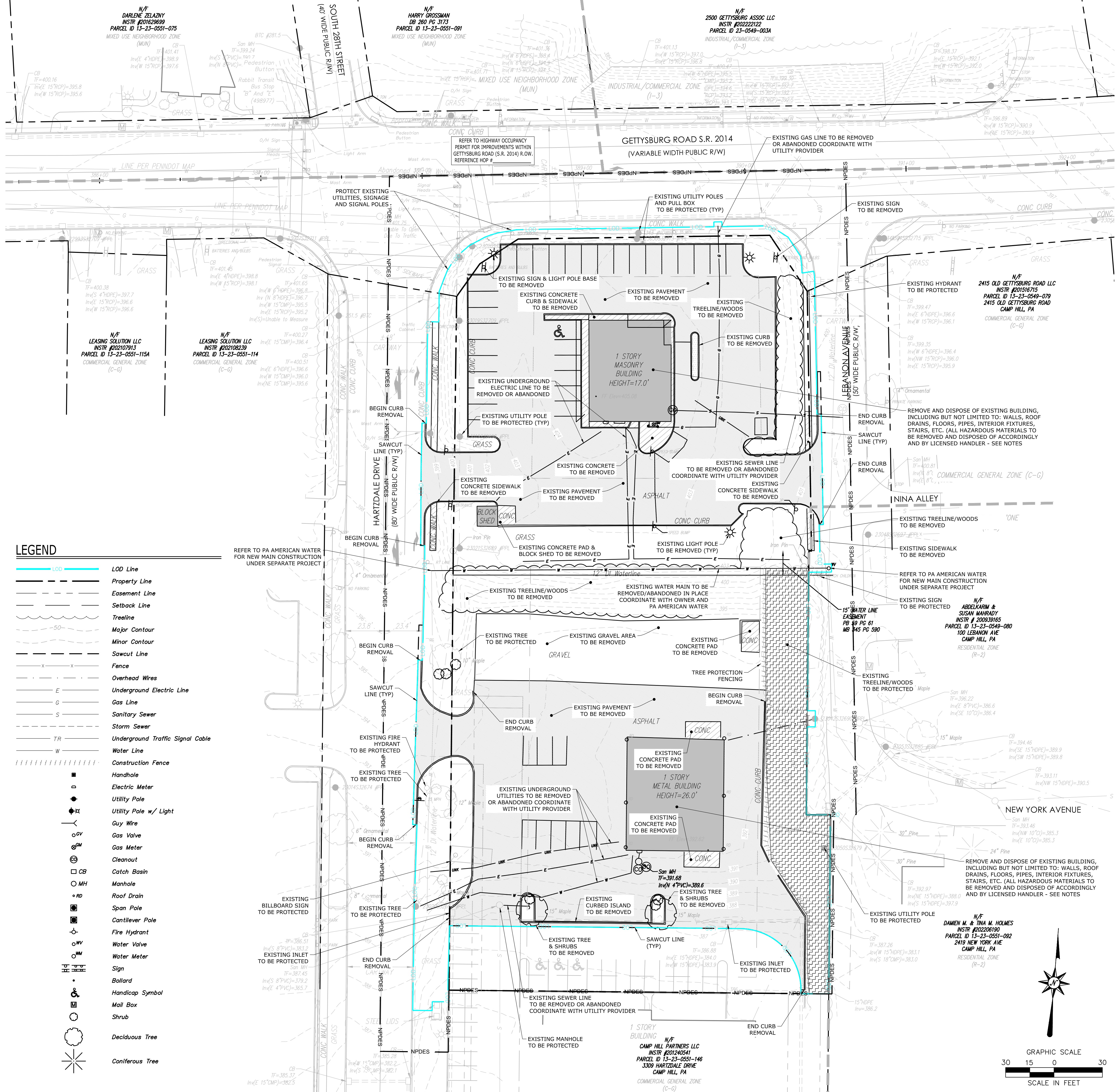


Know what's below.
Call before you dig.

PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299

LEGEND

	LOD Line
	Property Line
	Easement Line
	Setback Line
	Treeline
	Major Contour
	Minor Contour
	Sawcut Line
	Fence
	Overhead Wires
	Underground Electric Line
	Gas Line
	Sanitary Sewer
	Storm Sewer
	Underground Traffic Signal Cable
	Water Line
	Construction Fence
	Handhole
	Electric Meter
	Utility Pole
	Utility Pole w/ Light
	Guy Wire
	Gas Valve
	Gas Meter
	Cleanout
	Catch Basin
	Manhole
	Roof Drain
	Span Pole
	Cantilever Pole
	Fire Hydrant
	Water Valve
	Water Meter
	Sign
	Ballard
	Handicap Symbol
	Mail Box
	Shrub
	Deciduous Tree
	Coniferous Tree



2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665



FINAL LAND AND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISED PER TWP. AND COUNTY COMMENTS	REVISED PER TOWNSHIP COMMENTS
10/29/2024	03/12/2025
1	2
2	3

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 30'
Project No. 2302658
Date 09/16/2024
CAD File: C2302658-00

DEMOLITION PLAN

Sheet No.

C0.00
No. 5 of 22

3/12/2025, 3:05PM, J.B.W. 0302658-00, C2302658-00, DWG, DEMOLITION PLAN.

Xref(s) : BDD1 ; XY02 ; XC01 ; XC02 ; XC04

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

LEGEND	SITE LEGEND
---	PROPERTY LINE
---	EASEMENT LINE
---	SAWCUT
●	BOLLARD
★	SITE LIGHT POLE
---	CONCRETE CURB
---	ZONING BOUNDARY LINE
---	STANDARD-DUTY BITUMINOUS PAVEMENT
---	CONCRETE SIDEWALK
---	BRICK PAVERS

ZONING INFORMATION

LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY

ZONE: C-2 - GENERAL COMMERCIAL DISTRICT, GROUNDWATER NONUSE OVERLAY DISTRICT

PROPOSED PROJECT LOT USE: CONVENIENCE STORE, FAST FOOD RESTAURANT, AND FUEL SALES (PERMITTED USE) 457110 & 722513

ITEM #	ITEM	REQUIREMENTS	PROPOSED PROJECT LOT	SECTION	VARIANCE
1	MINIMUM LOT AREA	N/A	103,575 S.F. 2.38 ACRES	220-60.A	NO
2	MINIMUM LOT WIDTH	50 FEET	>220 FEET	220-60.B	NO
3	MINIMUM FRONT YARD	30 FEET	>30 FEET	220-61.A.1	NO
4	MINIMUM SIDE YARD	10 FEET	>10 FEET	220-61.A.2	NO
5	MINIMUM REAR YARD	35 FEET	>35 FEET	220-61.A.3	NO
6	MAXIMUM IMPERVIOUS COVERAGE	70 PERCENT	69.5 PERCENT* (71,962 S.F.)	220-58	NO
7	MAXIMUM BUILDING HEIGHT	50 FEET	<35 FEET	220-59	NO
8	FRONT YARD LANDSCAPING (AREA BETWEEN BUILDING FACADE & GETTYSBURG RD)	5 PERCENT 42,096 S.F. = 2,105 S.F.	24.7 PERCENT (10,394 S.F.)	220-200	NO

*EXISTING IMPERVIOUS COVERAGE IS NON-CONFORMING WITH 77,377 S.F. OF IMPERVIOUS AREA.

ADDITIONAL ZONING INFORMATION

- 220-201.C.1. A FRONT YARD SETBACK FOR ANY PARKING AREA EQUAL TO AT LEAST HALF OF THAT REQUIRED FOR THE ADJACENT RESIDENTIAL USE, BUT IN NO CASE LESS THAN 10 FEET, SHALL BE PROVIDED.
- 220-201.C.2. A WALL, HEDGE OR EARTHEN BERM SHALL BE PLACED ALONG THE PERIMETER OF THE PARKING AREA ADJACENT TO THE RESIDENTIAL USE, WITHIN A BUFFER YARD OF FIVE FEET, IN ADDITION TO THE REQUIRED YARD SETBACKS.
- 220-242.L.3. EXCEPT AT ENTRANCE AND EXIT DRIVES, THE PARKING AREA SHALL BE PHYSICALLY SEPARATED FROM ANY PUBLIC AND/OR PRIVATE STREETS WITH A MINIMUM SIX-FOOT-WIDE PLANTING STRIP.
- 220-201.B.1.10 MAXIMUM SCREENING HEIGHT SHALL BE 6 FEET IN REAR AND SIDE YARDS.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED PROJECT LOT	SECTION	VARIANCE
1	BUILDING SIZE	N/A	4,966 S.F.	N/A	NO
2	PARKING REQUIRED	CONVENIENCE STORE: 1 SPACE PER EVERY 150 S.F. OF GFA (3,378 S.F.) = 23 SPACES FAST FOOD RESTAURANT: 1 SPACE PER EVERY 30 S.F. OF GFA (1,588 S.F.) = 53 SPACES FUEL SALES: 1 SPACE PER 3 GASOLINE PUMPS (6) = 2 SPACES TOTAL REQUIRED = 78 SPACES	42 SPACES	220-239	SPECIAL EXCEPTION
3	ADA PARKING REQUIRED	2 ADA SPACES	2 ADA SPACES	220-238	NO
4	MINIMUM PARKING DIMENSION	9 FEET X 18 FEET	10 FEET X 19 FEET 10 FEET X 20 FEET	220-242.L.1.a	NO
5	MINIMUM AISLE WIDTH	24 FEET	24 FEET	220-242.L.1.a	NO
6	FUEL PAD PARKING	NO PARKING BETWEEN FUEL PAD AND MAIN ENTRANCE	NONE	220-159	NO
7	INTERIOR LOT LANDSCAPING	5 PERCENT 10,712 x .05 = 535 S.F.	28.7 PERCENT (3,077 S.F.)	220-200.B.1	NO
8	OFF-STREET LOADING REQUIRED	5,000 OR LESS GROSS FLOOR AREA 1 SPACE	4,966 GFA < 6,000 GFA 1 SPACE	220-243.A.1	NO

ADDITIONAL PARKING INFORMATION

- 220-159 PARKING SHALL NOT BE PERMITTED BETWEEN THE MAIN ENTRANCE OF THE ESTABLISHMENT AND THE REFUELING BAYS. WHERE THE AREA BETWEEN THE MAIN ENTRANCE AND THE PARKING BAYS IS PAVED, A NO-PARKING LANE SHALL BE ESTABLISHED.
- 220-240 PROVIDE 6 VEHICLE STACKING LENGTHS BEHIND MENU BOARD AND PROVIDE 4 VEHICLE STACKING LENGTHS BEHIND ORDER WINDOW. FUEL PAD AREA SHALL PROVIDE 2 VEHICLE STACKING LENGTHS AT FUEL PUMPS EXCLUDING THE PUMPING AREA.
- 220-242.2.A. ALL PARKING SPACES AND ACCESS DRIVES SHALL BE AT LEAST 10 FEET FROM ANY MULTIFAMILY DWELLING OR NONRESIDENTIAL BUILDING ON THE LOT.

CIRCULATION AND SITE USE NOTES

- DELIVERY AND FUELING TRUCKS SHALL NOT BE PERMITTED TO USE THE ACCESS ONTO LEBANON AVENUE. USER SHALL COORDINATE DELIVER AND FUELING ROUTES AS NECESSARY.
- OUTDOOR SPEAKERS FOR MUSIC AND ANNOUNCEMENTS SHALL NOT BE UTILIZED BETWEEN THE HOURS OF SATURDAY 8-PM TO 8AM.



Know what's below.
Call before you dig.

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TABLE 3 SIGHT DISTANCE ANALYSIS						
	Direction	Posted Speed (mph)	Grade¹	Sight Distances (feet)		
				DES	SSSD	EXIST
Hartzdale Drive & Full-Movement Site Driveway						
Exiting Movements	To the Left	35 mph	+2%	440'	242'	500'+
	To the Right	35 mph	-2%	350'	256'	320' ²
Entering Left Turns	Approaching same direction	35 mph	-2%	N/A	256'	320' ²
	Approaching opposite direction	35 mph	+2%	300'	242'	500'+
Lebanon Avenue & Full-Movement Site Driveway						
Exiting Movements	To the Left	25 mph	-1%	250'	148'	165' ²
	To the Right	25 mph	+2%	195'	144'	200'
Entering Left Turns	Approaching same direction	25 mph	+2%	N/A	144'	200'
	Approaching opposite direction	25 mph	-1%	190'	148'	165' ²

DES = PennDOT Desirable Sight Distance

SSSD = PennDOT Safe Stopping Sight Distance

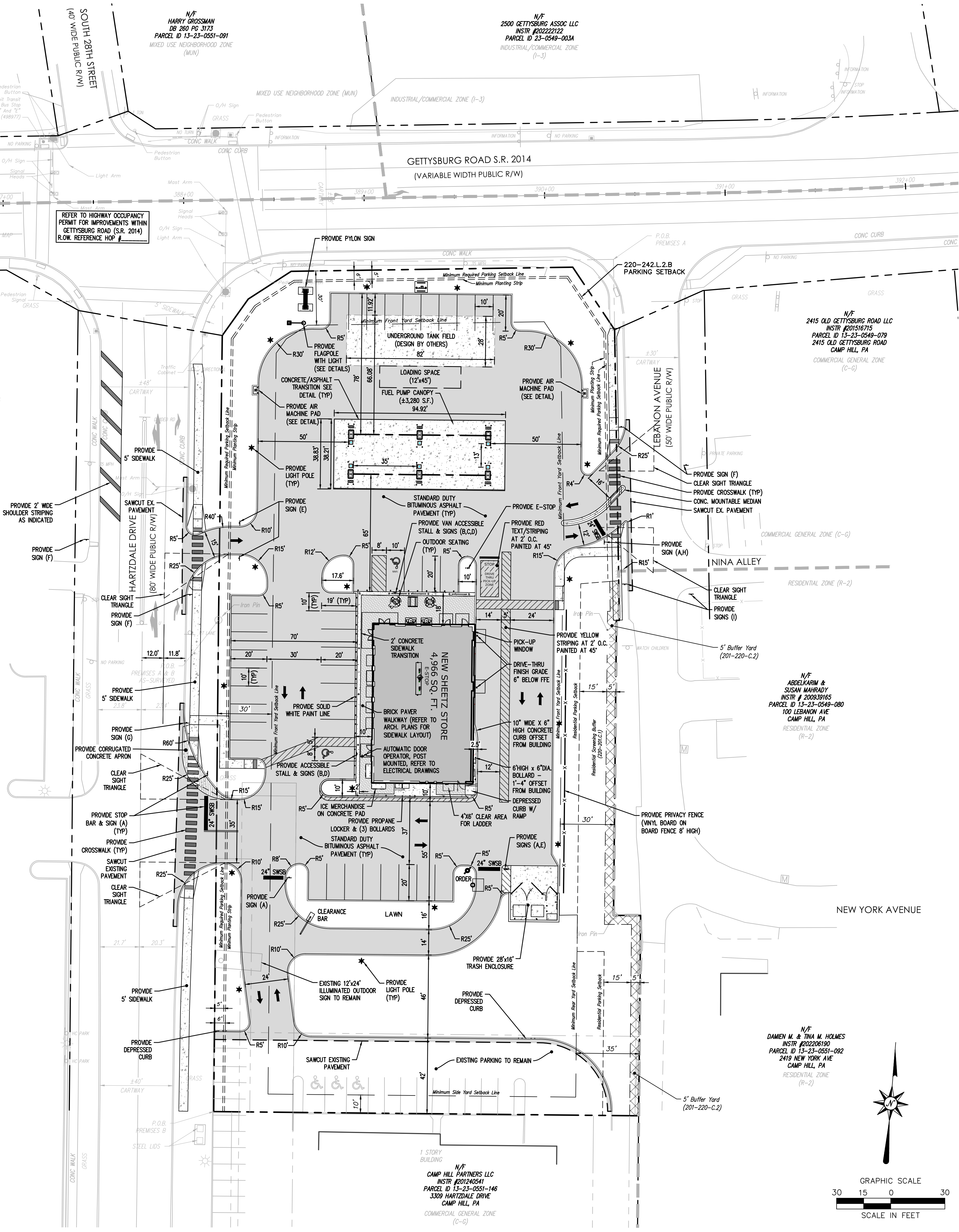
EXIST = Existing (measured) Sight Distance

1 = Roadway Grade Approaching Driveway

2 = Distance to/from Gettysburg Road (SR 2014)

SIGN LEGEND

NO.	DOT NO./SIGN SIZE	LEGEND
A	R1-1 30"x30"	STOP
B	R7-8 12"x18"	WHEELCHAIR
C	R7-8B 9"x18"	VAN ACCESSIBLE
D	R7-8F 12"x18"	VEHICLE TRUCK STOPPING
E	R5-1 30"x30"	DO NOT ENTER
F	R3-2 30"x30"	RIGHT TURN ONLY
G	R3-7R 30"x30"	RIGHT LANE MUST TURN RIGHT
H	R3-7-1L 30"x30"	ALL TRAFFIC MUST TURN LEFT
I	SPECIAL 30"x30"	LOCAL TRAFFIC ONLY



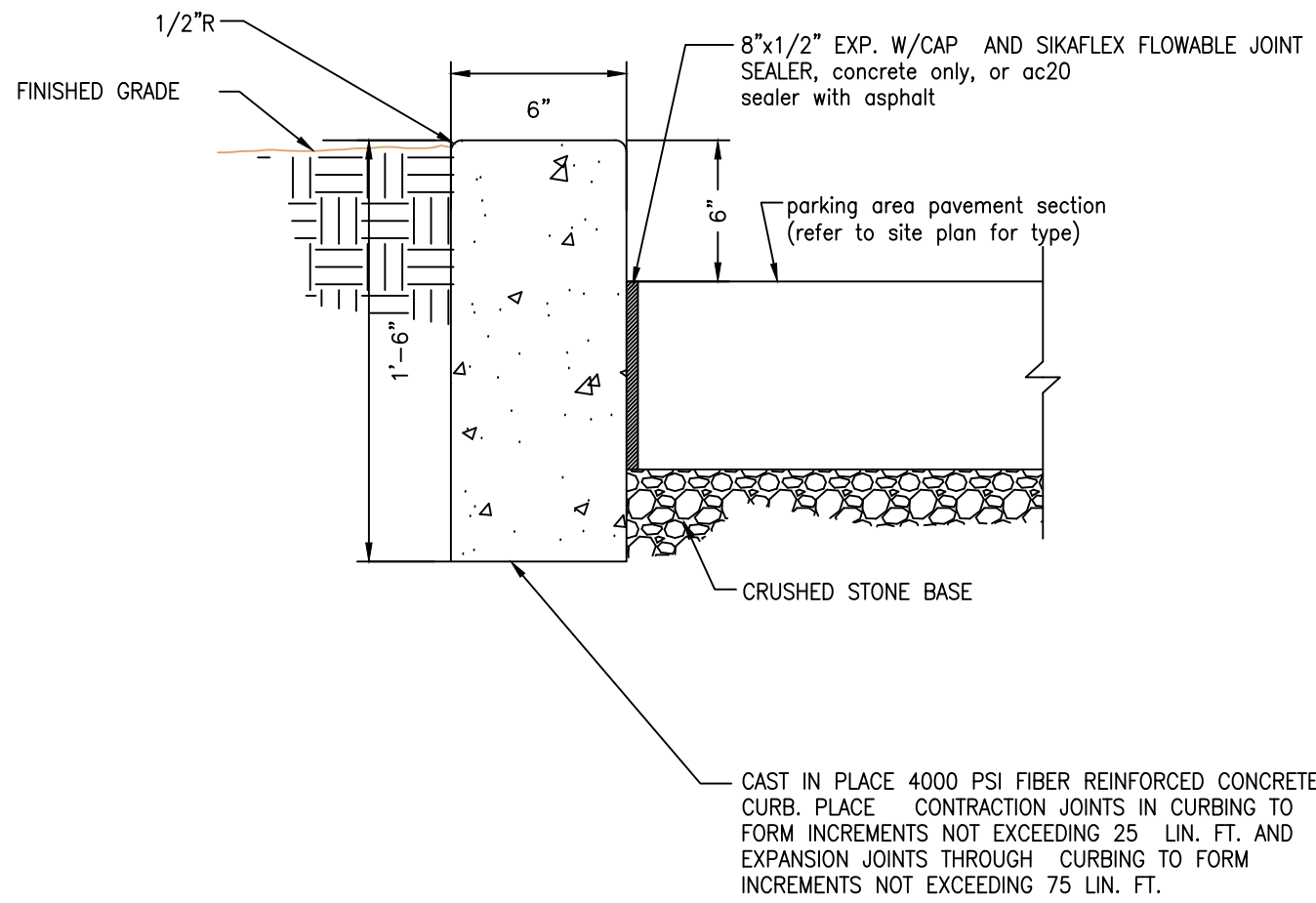
REVISONS	No.	Date	DESCRIPTION
1	1	10/29/2024	DESIGNED PER TWP. AND COUNTY COMMENTS
2	2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
3	3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

Designed	J.B.W.
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Scale	1" = 30'
Project No.	2302658
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CAD File:	C2302658-10

SITE PLAN

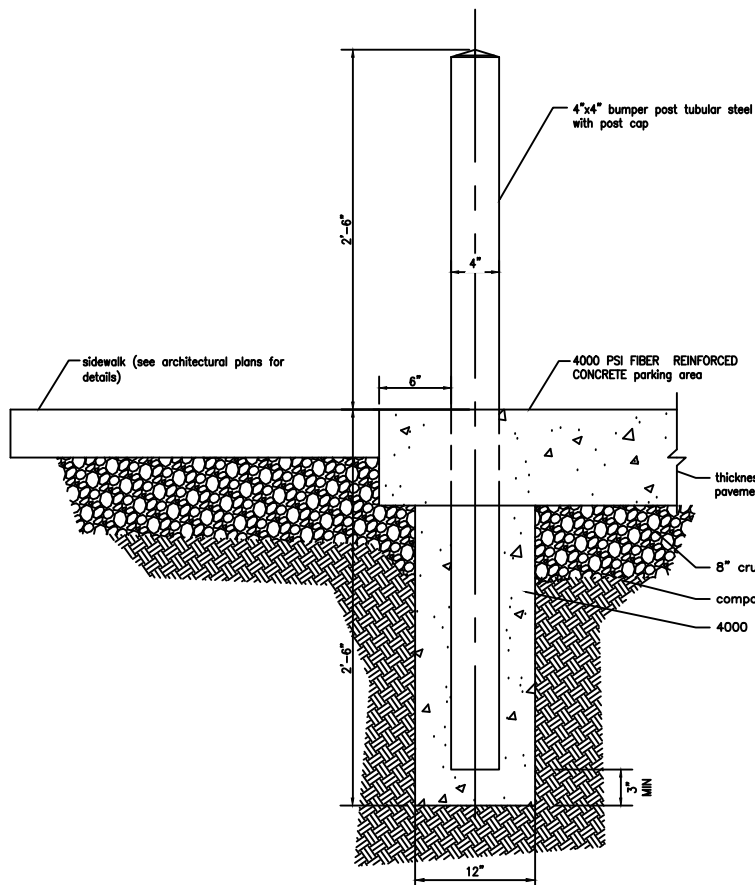
Sheet No.

C1.00
No. 6 of 22



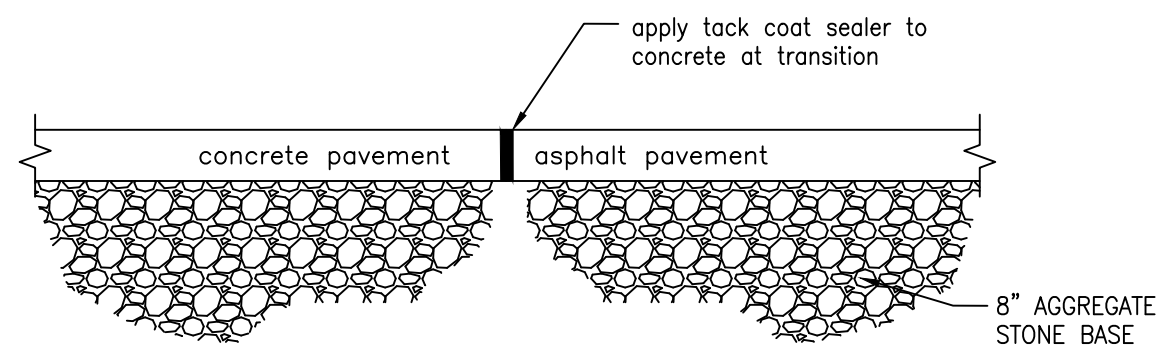
SITE AND STORE PERIMETER CURBING
SCALE: NO SCALE

Convenience Architecture and Design P.C.		SITE AND STORE PERIMETER CURBING	SCALE: AS NOTED DATE: 06/19/2023 DRAWN BY: DAH FILENAME: DETAIL C 03
351 Sheetz Way, Clayburg, PA 16625		(814)239-6013	



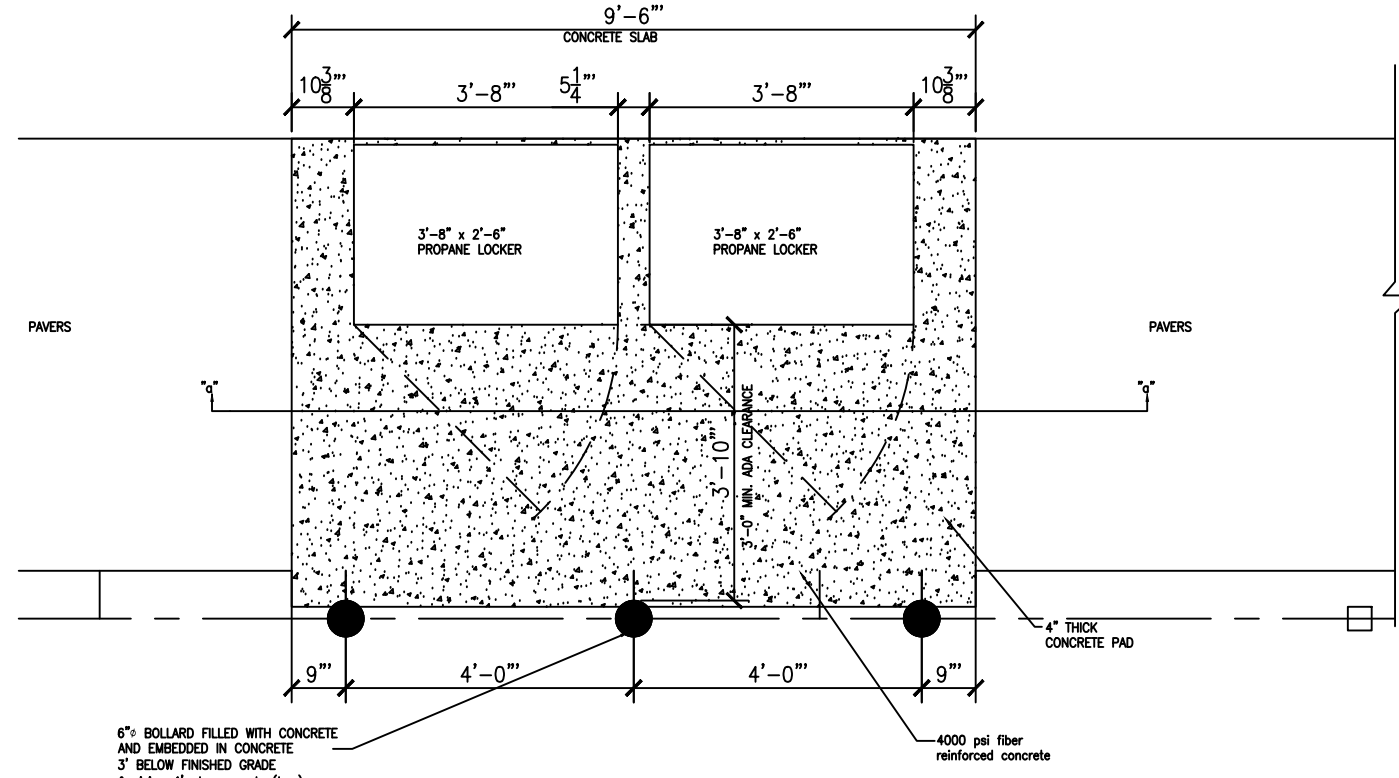
storefront bumper post flush sidewalk
SCALE: NO SCALE

Convenience Architecture and Design P.C.		STOREFRONT BUMPER POST DETAIL	SCALE: AS NOTED DATE: 06/19/2023 DRAWN BY: DAH 1
351 Sheetz Way, Clayburg, PA 16625		(814)239-6013	



CONCRETE / asphalt pavement transition detail
n.t.s.

SHEETZ		ASPHALT PAVING DETAILS	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 27

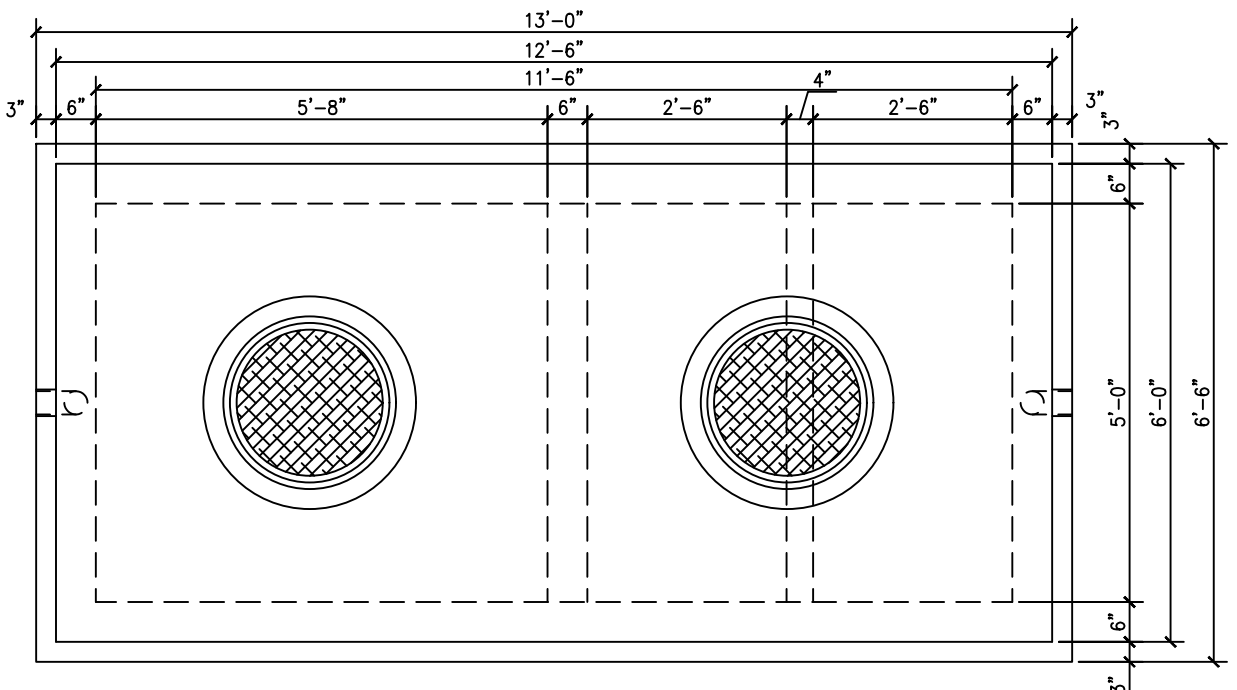


PLAN

ELEVATION

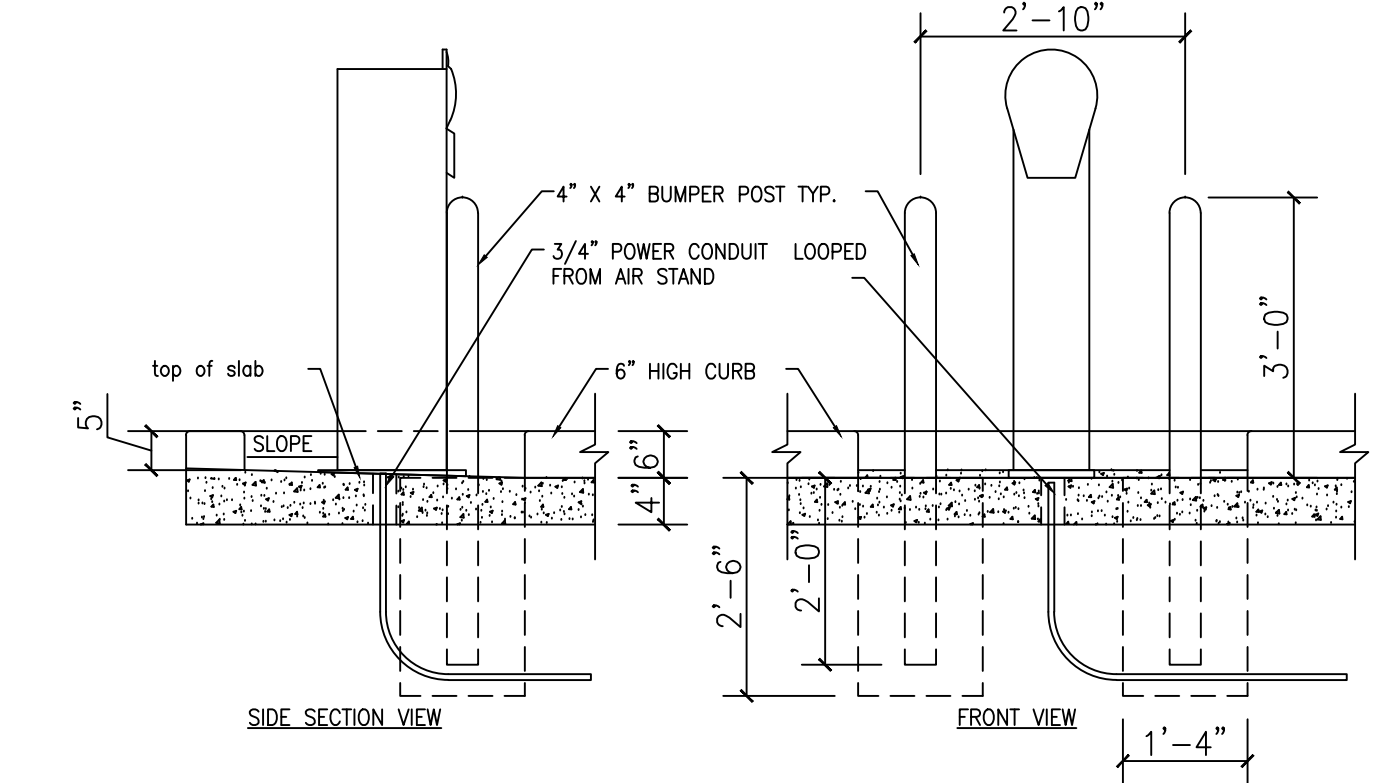
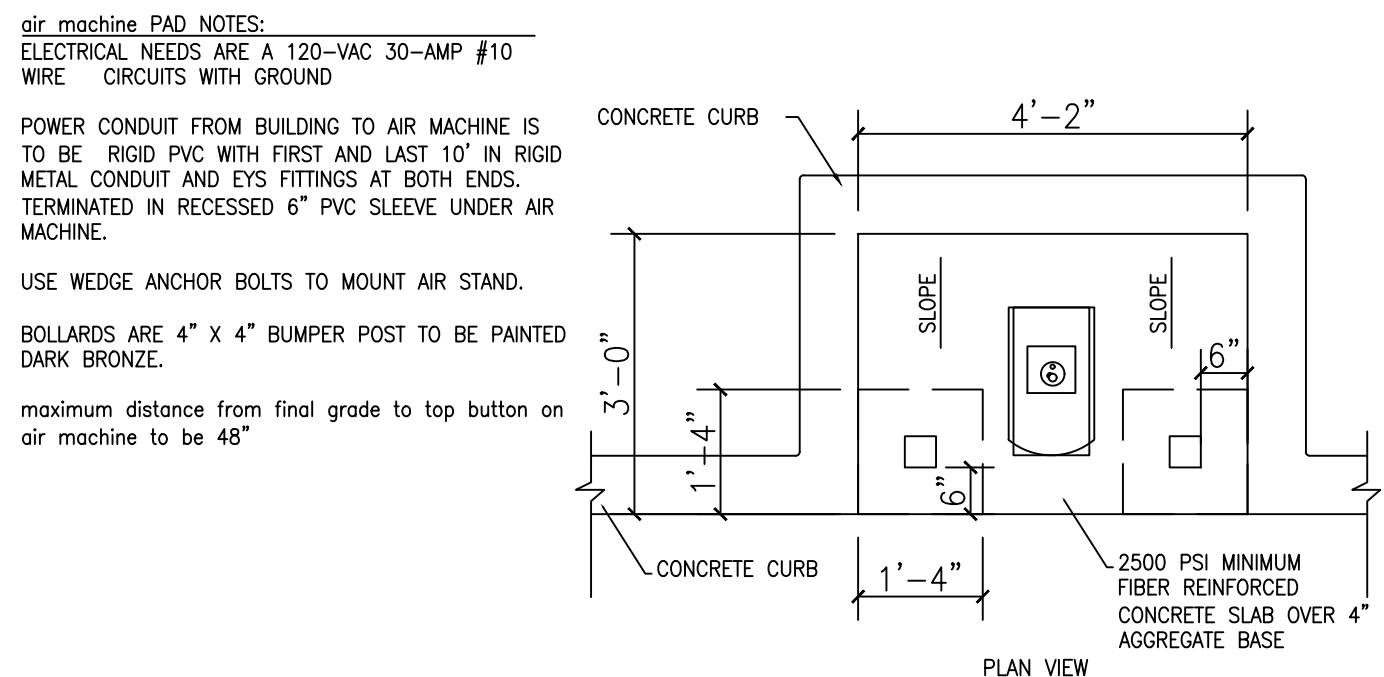
SECTION "A-A"

SHEETZ		PROPANE LOCKER (AT BUILDING)	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 19



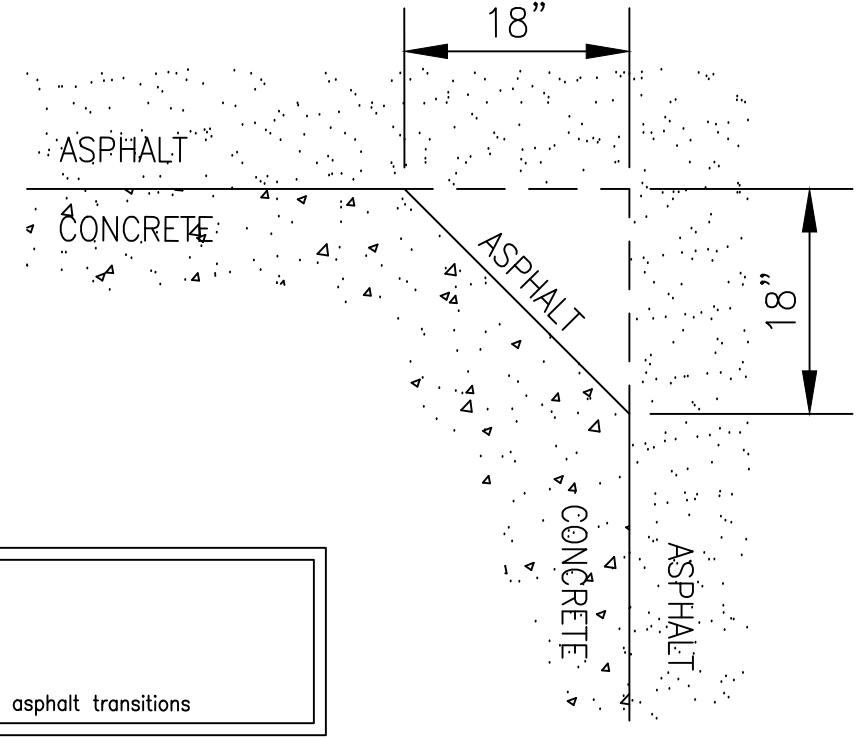
PRECAST CONCRETE 2000 GALLON GREASE INTERCEPTOR
SCALE: NO SCALE

SHEETZ		2000 GALLON GREASE INTERCEPTOR	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 21



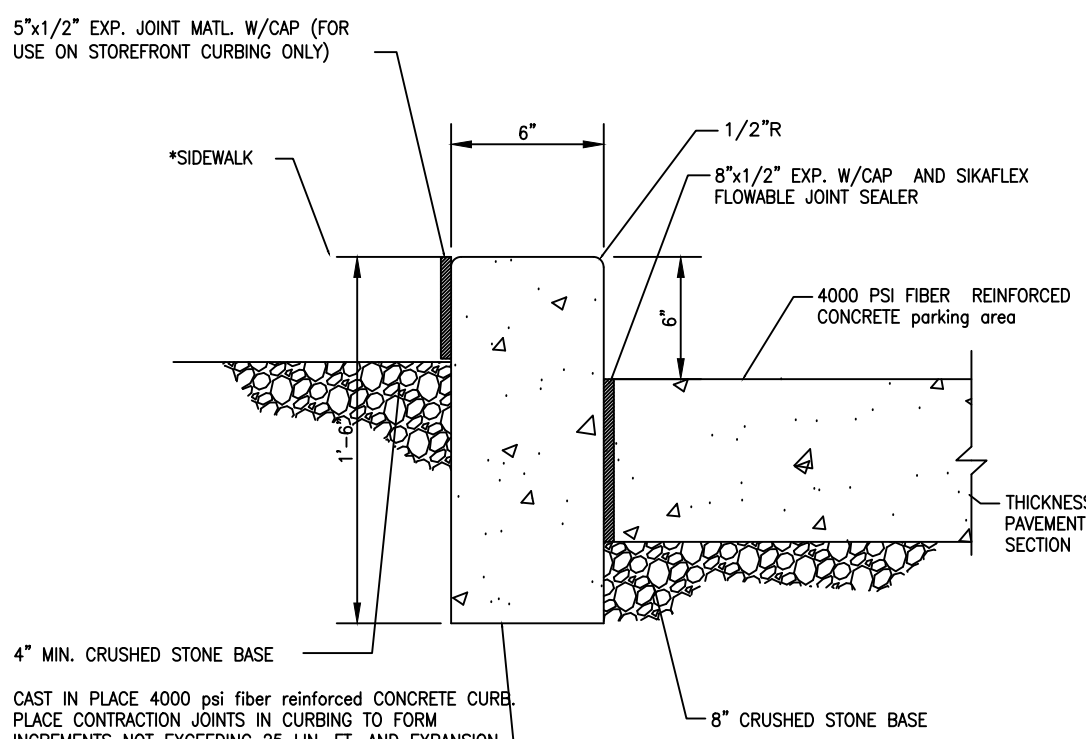
AIR MACHINE PAD
SCALE: NO SCALE

SHEETZ		AIR MACHINE PAD DETAILS	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 05



CONCRETE / ASPHALT chamfer
SCALE: NO SCALE

SHEETZ		CONCRETE/ASPHALT CHAMFER DETAIL	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 28



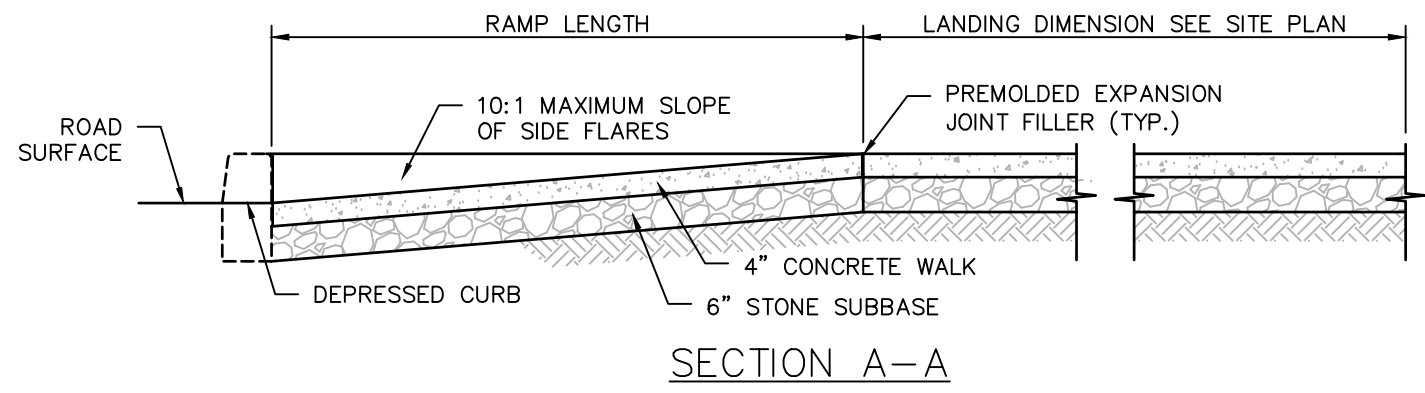
STOREFRONT CONCRETE CURBING
SCALE: NO SCALE

(*) SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON BRICK PAVEMENT / CONCRETE CURB CONNECTION

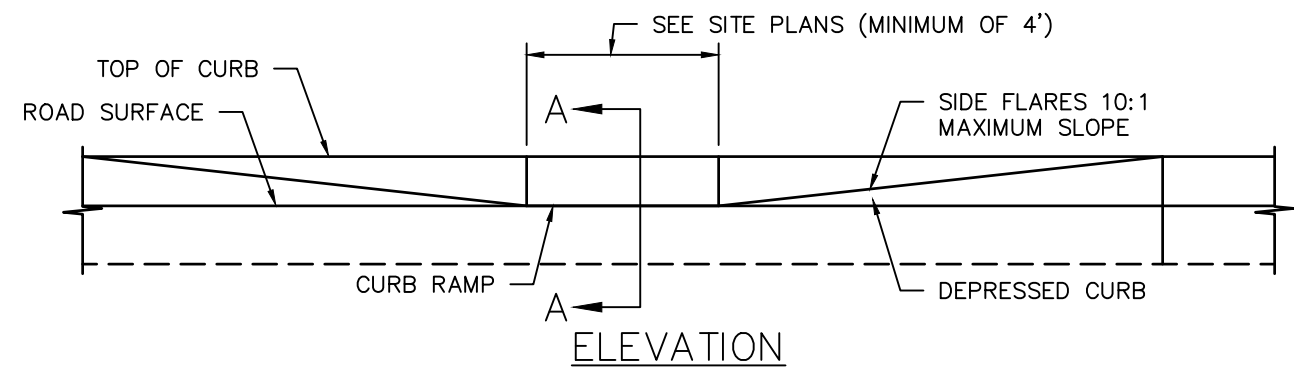
SHEETZ		STOREFRONT CONCRETE CURBING DETAIL	SCALE: AS NOTED DATE: 11/10/2023 DRAWN BY: DAH 02

REVISIONS		Desc.	REVISED PER TWP. AND COUNTY COMMENTS
No.	Date		REVISED PER TOWNSHIP COMMENTS
1	10/29/2024		REVISED PER TOWNSHIP COMMENTS
2	01/31/2025		REVISED PER TOWNSHIP COMMENTS
3	03/11/2025		

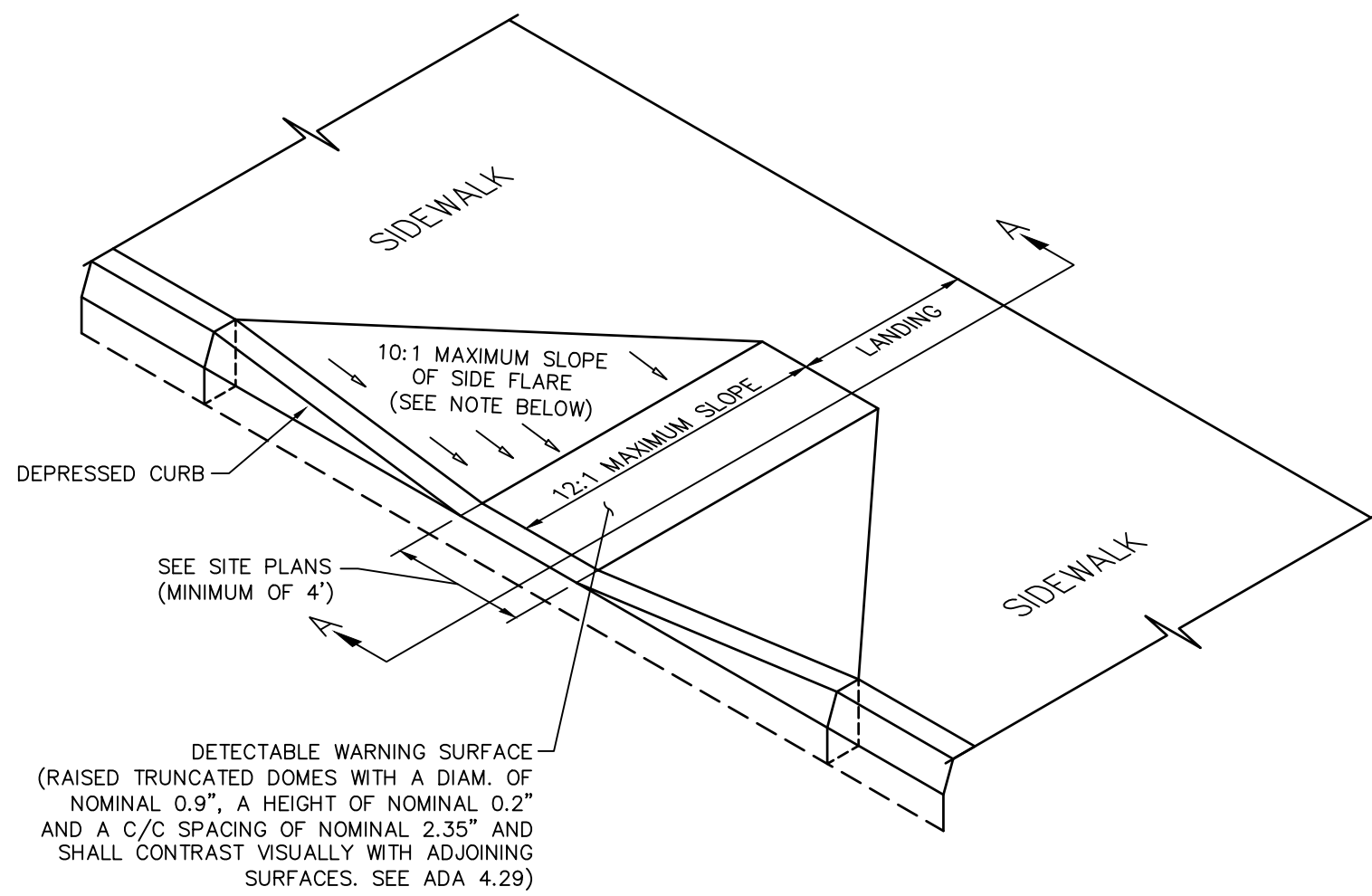
Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	N.T.S.
Project No.	2302658
Date	09/16/2024
CAD File:	C2302658-110



SECTION A-A



ELEVATION

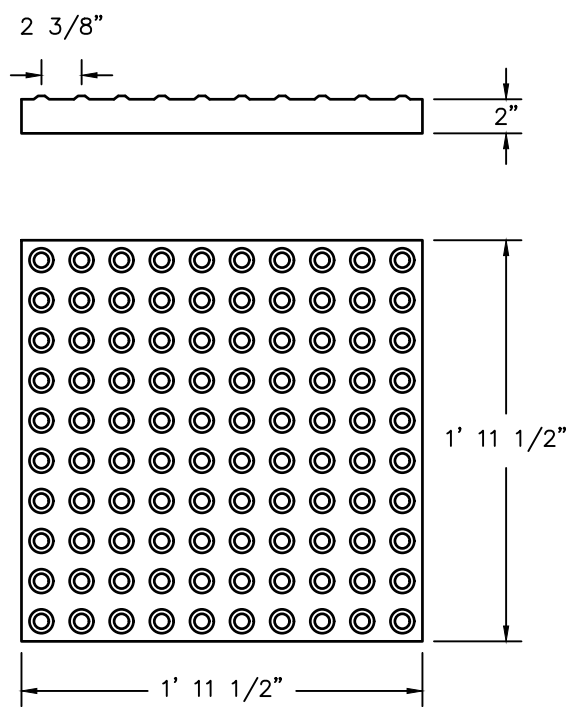


TYPE 1 ADA COMPLIANT CURB RAMP

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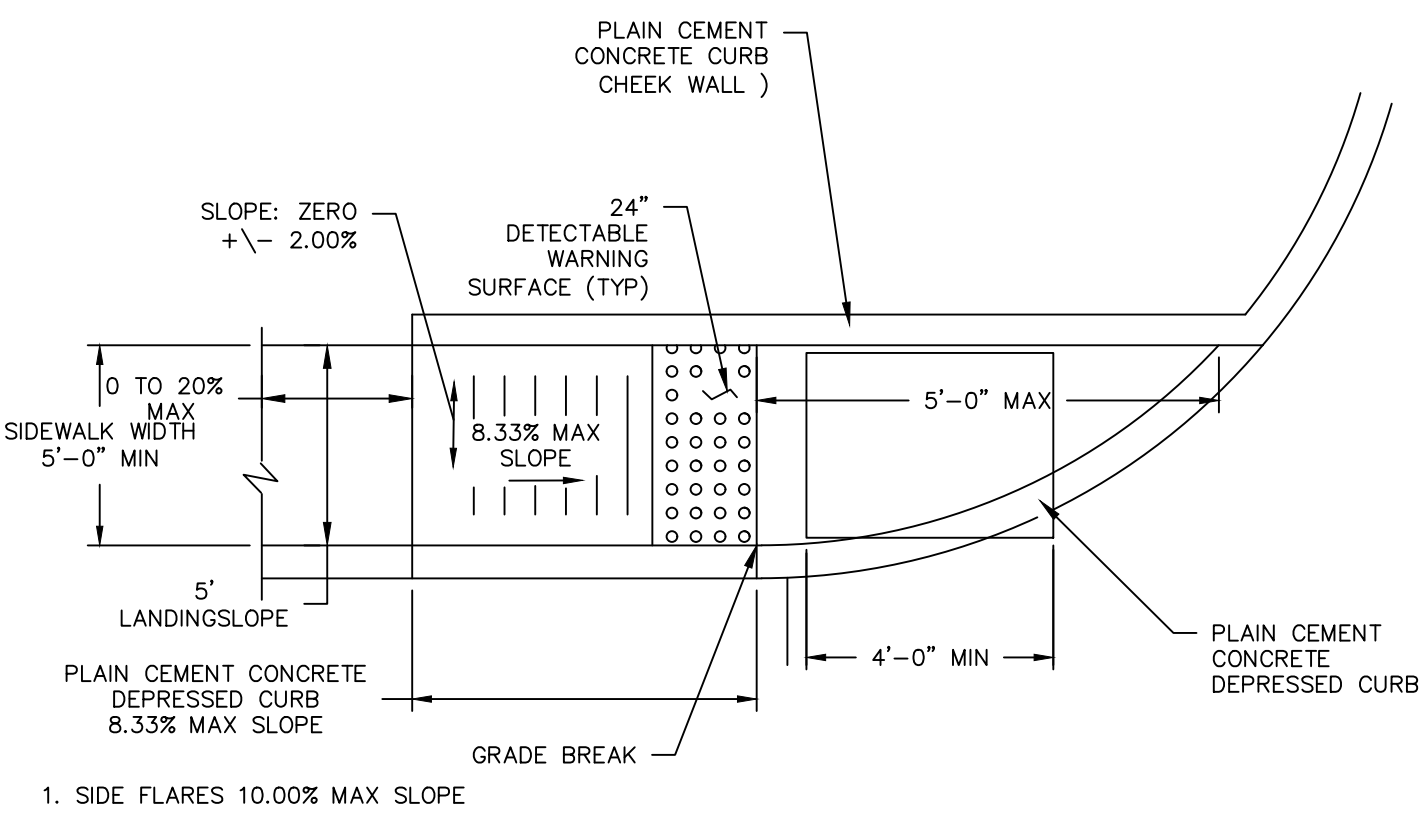
YELLOW ADA DETECTABLE WARNING - TRUNCATED DOMES W/BASE DIAMETER OF 0.9" MINIMUM TO 1.4" MAXIMUM, MAXIMUM HEIGHT OF 0.2", SPACING OF 1.6" MINIMUM TO 2.4" MAXIMUM CENTER TO CENTER, HANOVER DETECTABLE WARNING PAVEMENT TRUNCATED DOME, 23 1/2" X 23 1/2" X 2" PAVERS, COLOR YELLOW 15.

BY HANOVER ARCHITECTURAL PRODUCTS
240 BENDER ROAD, HANOVER, PA 17331
717-637-0500, <http://www.hanoverpavers.com>.



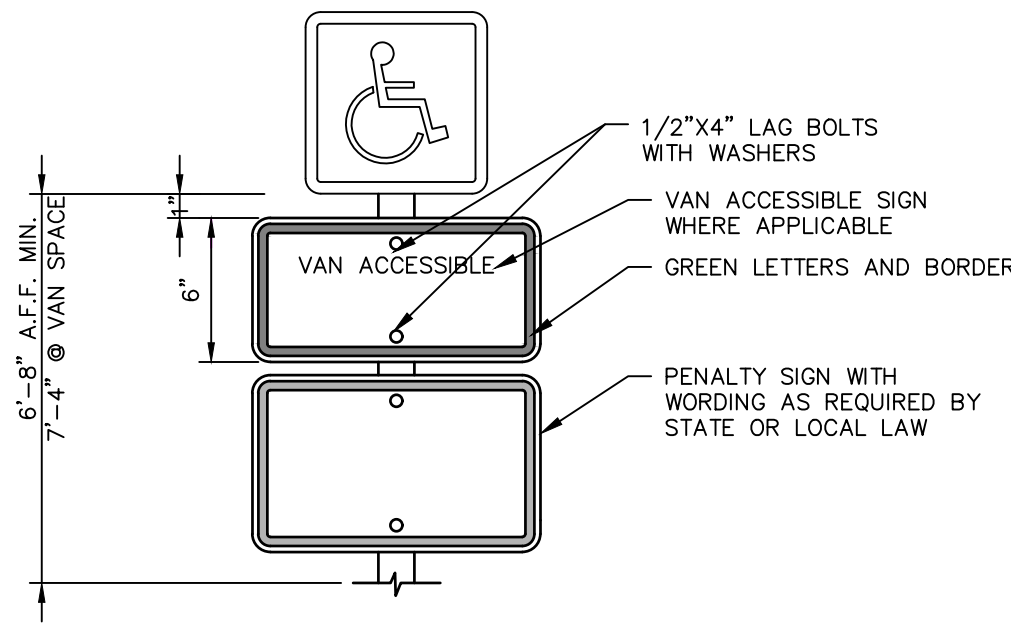
YELLOW ADA DETECTABLE WARNING TRUNCATED DOME PAVERS DETAIL

N.T.S.



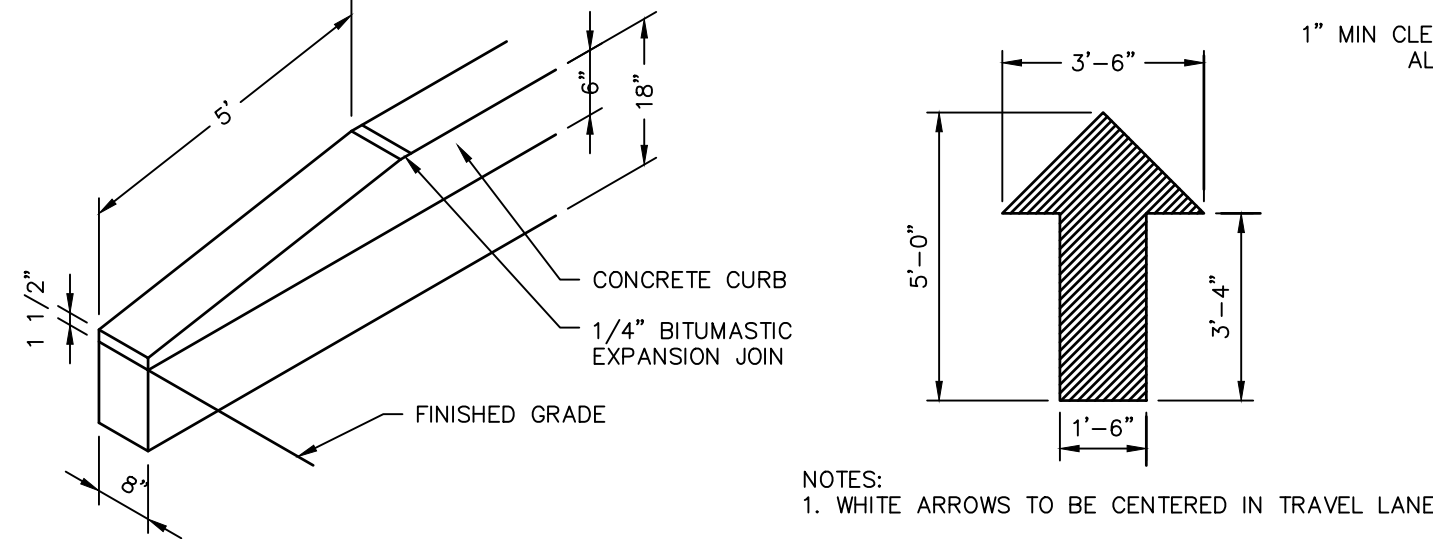
TYPE 1A CURB RAMP

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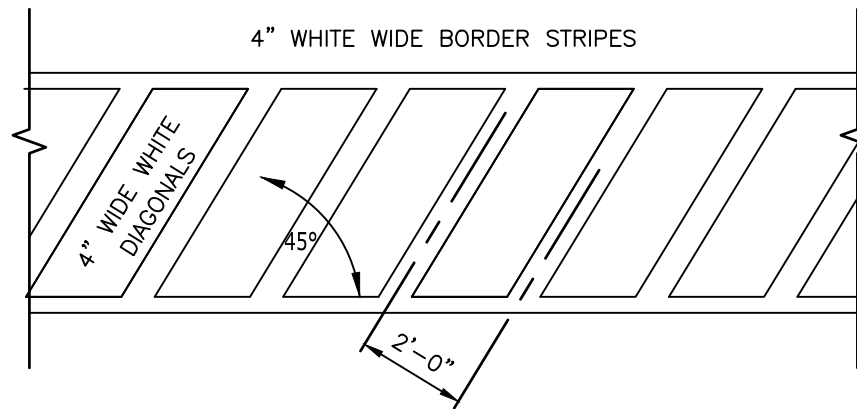
TYPICAL ADA ACCESIBLE SIGN

N.T.S.



CURB TERMINUS

N.T.S.

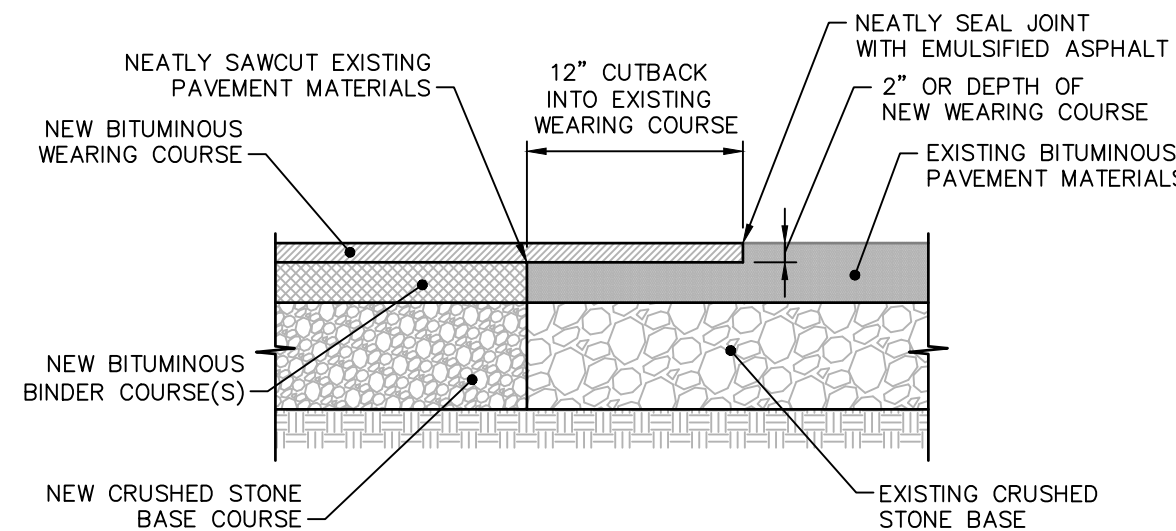


PAINTED TRAFFIC ARROW DETAIL

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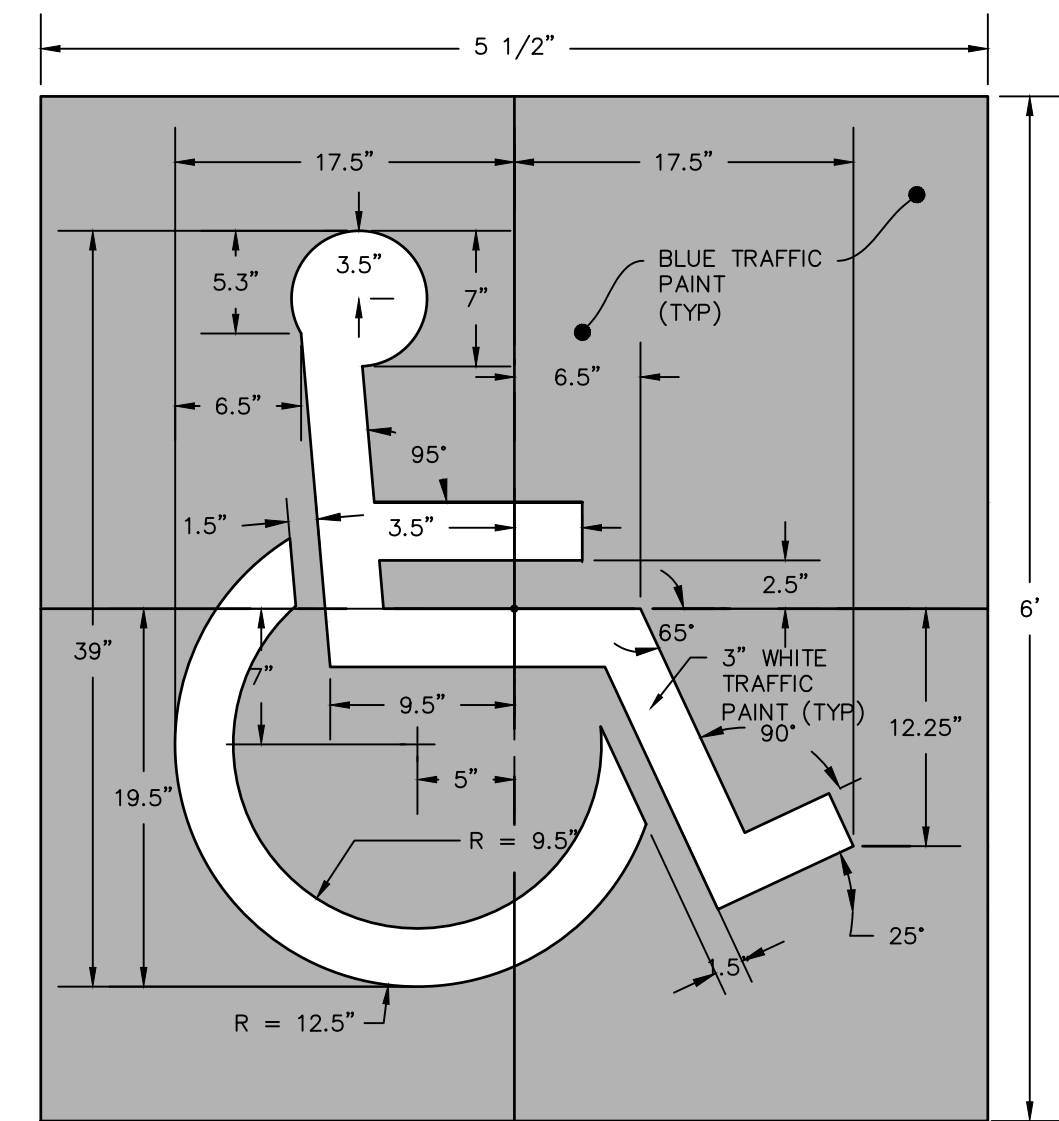
PAINT STRIPING DETAIL

N.T.S.



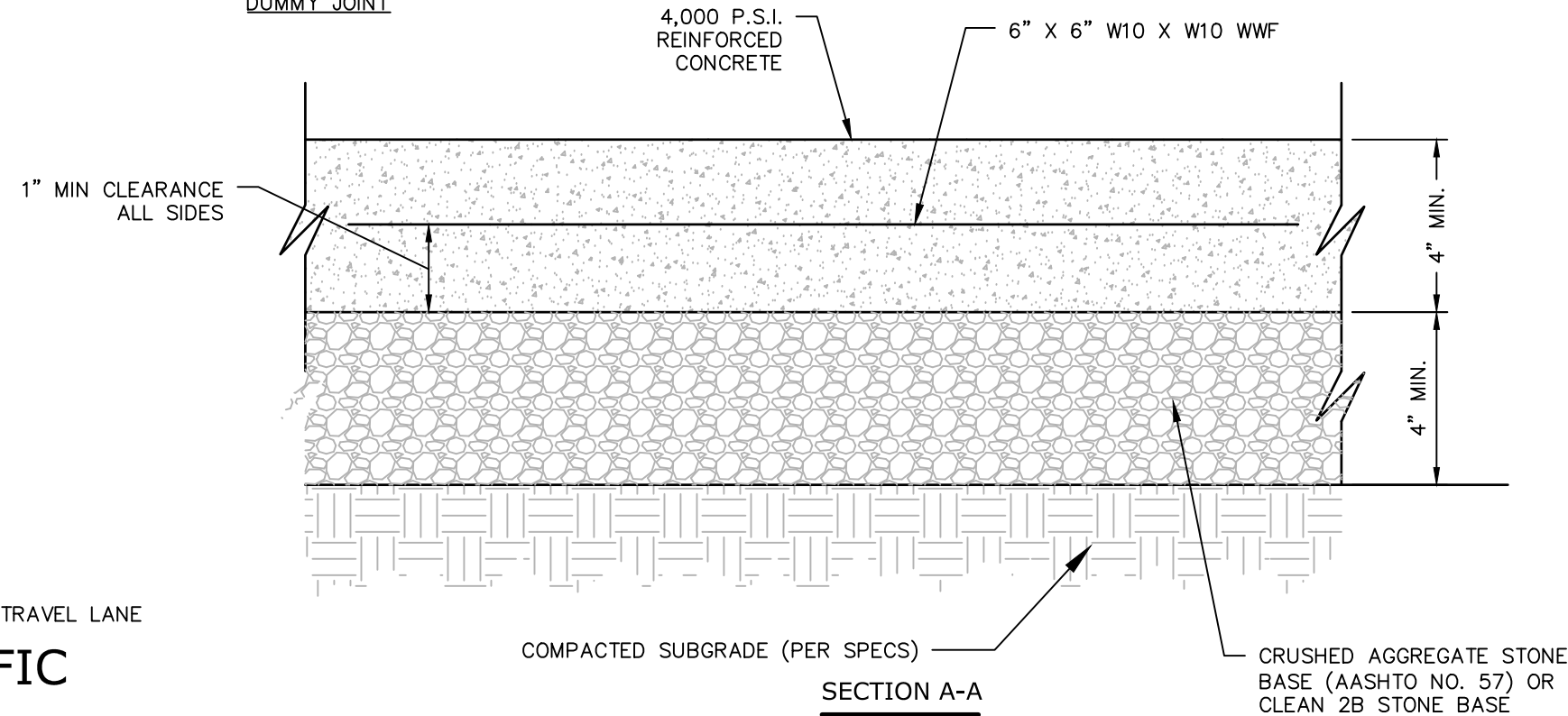
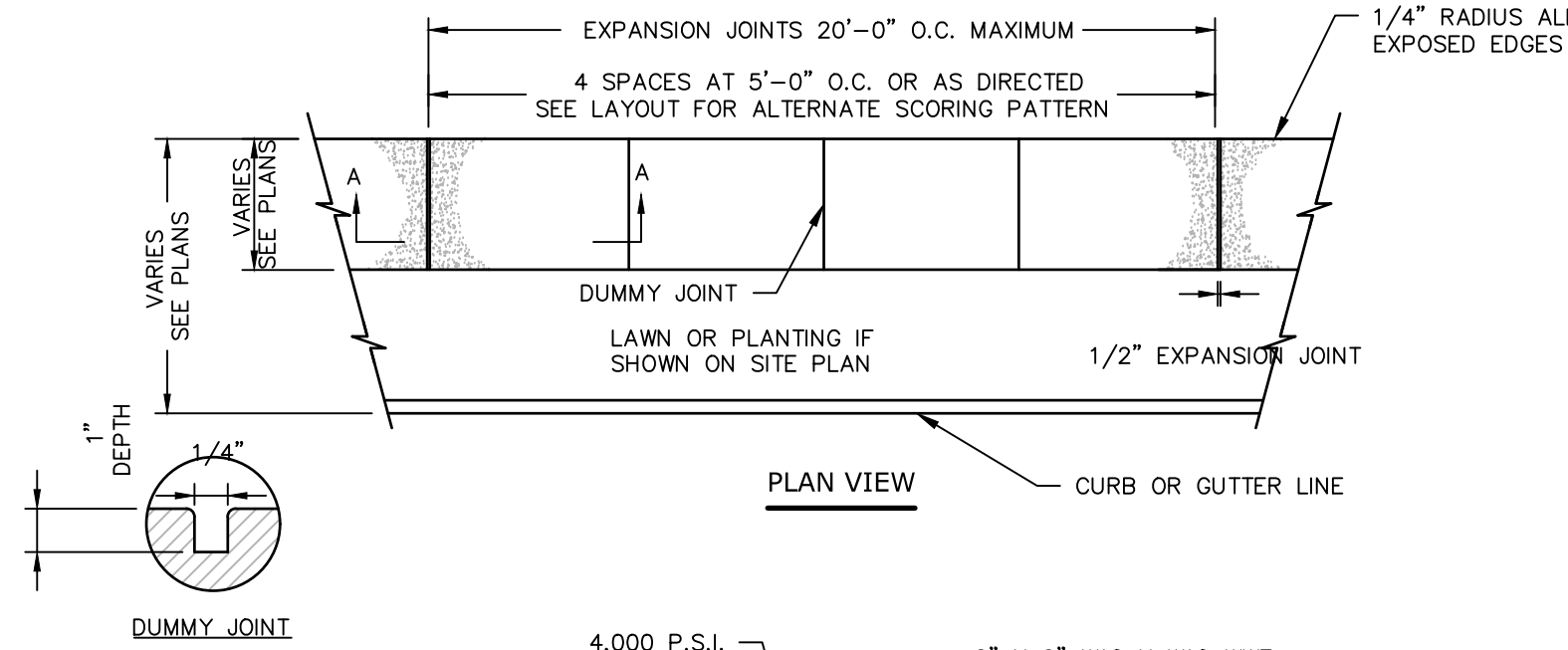
PAVEMENT JOINT WITH CUTBACK

N.T.S.



ADA ACCESSIBLE SYMBOL

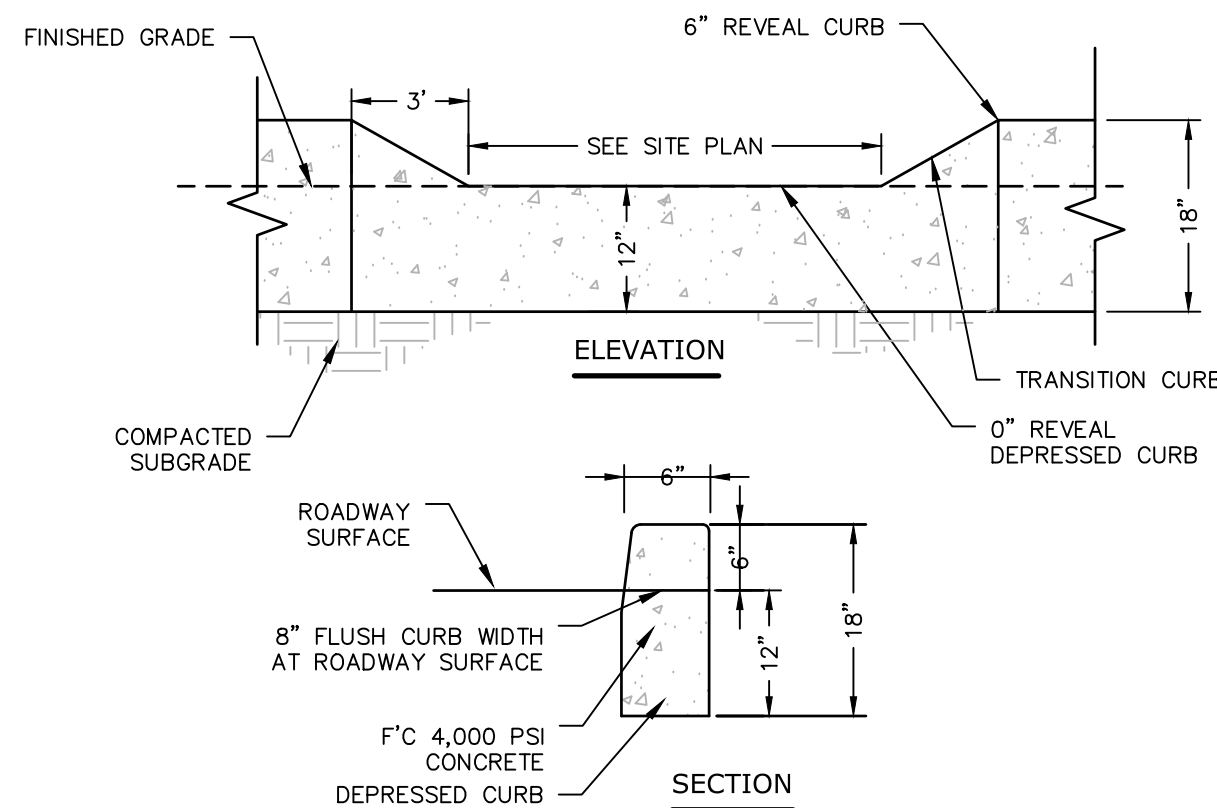
N.T.S.



- NOTES:
- 1/4" WIDE x 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.
 - CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT
 - SIDEWALK TO BE BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH

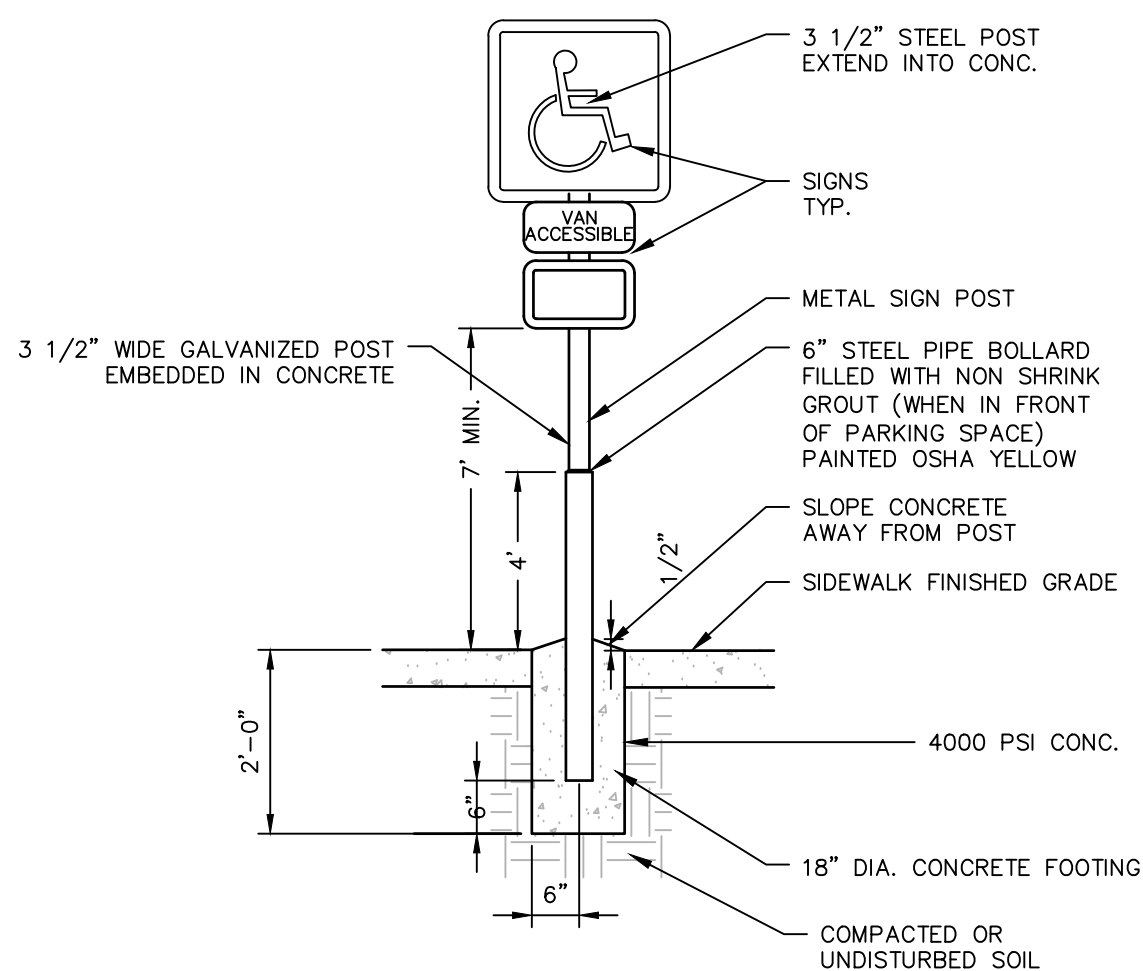
SIDEWALK DETAIL

N.T.S.



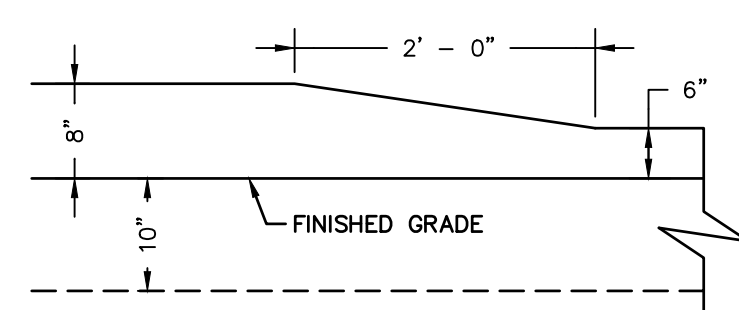
6" REVEAL DEPRESSED/ CONCRETE CURB

N.T.S.



6" CONCRETE. FILLED STEEL PIPE SIGN POST

N.T.S.

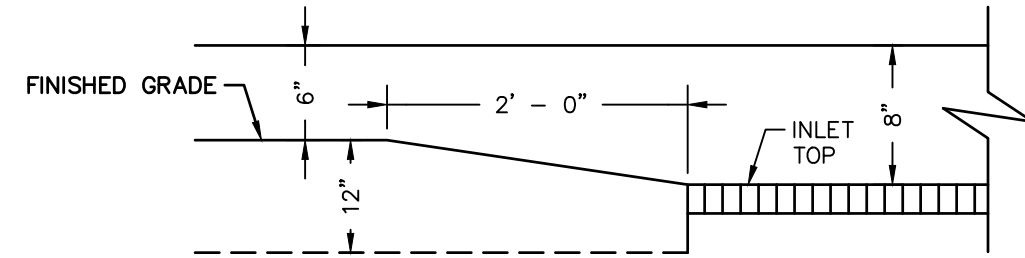


NOTES:

- REFER TO PENNDOT RC - 64 PLAIN CEMENT CONCRETE CURB - TRANSITIONS

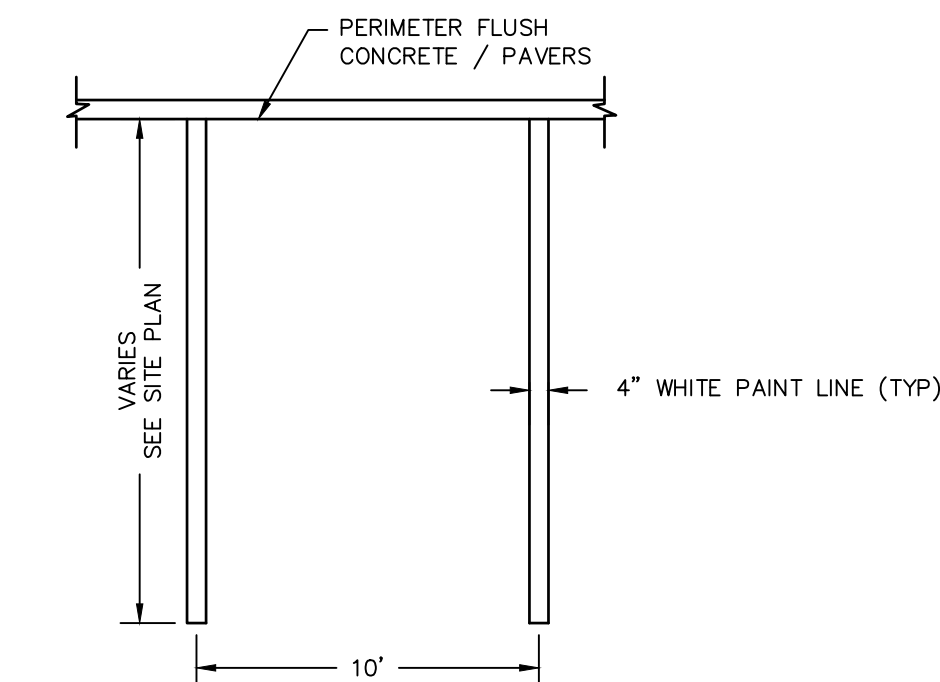
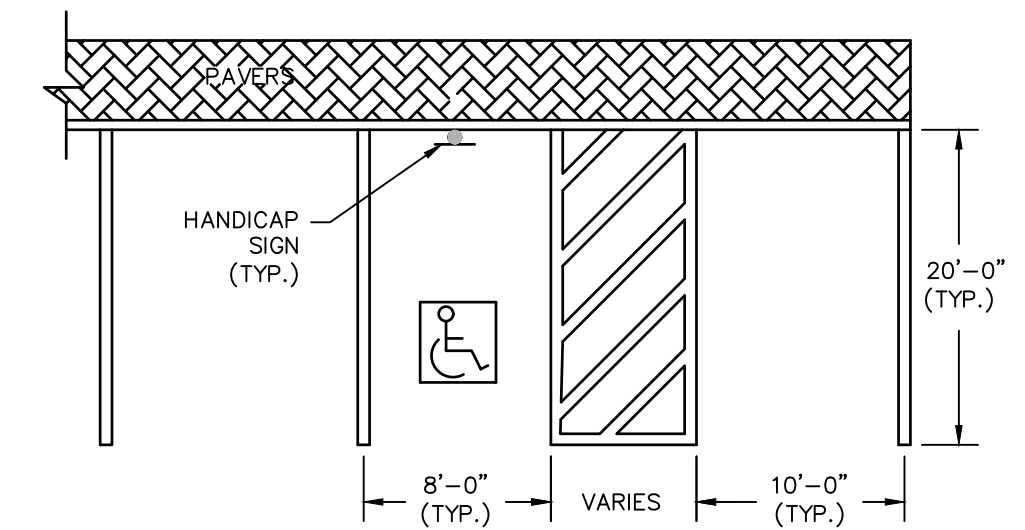
PLAIN CEMENT CONCRETE CURB - TRANSITION

N.T.S.



CONCRETE CURB TRANSITION AT INLET SUMP

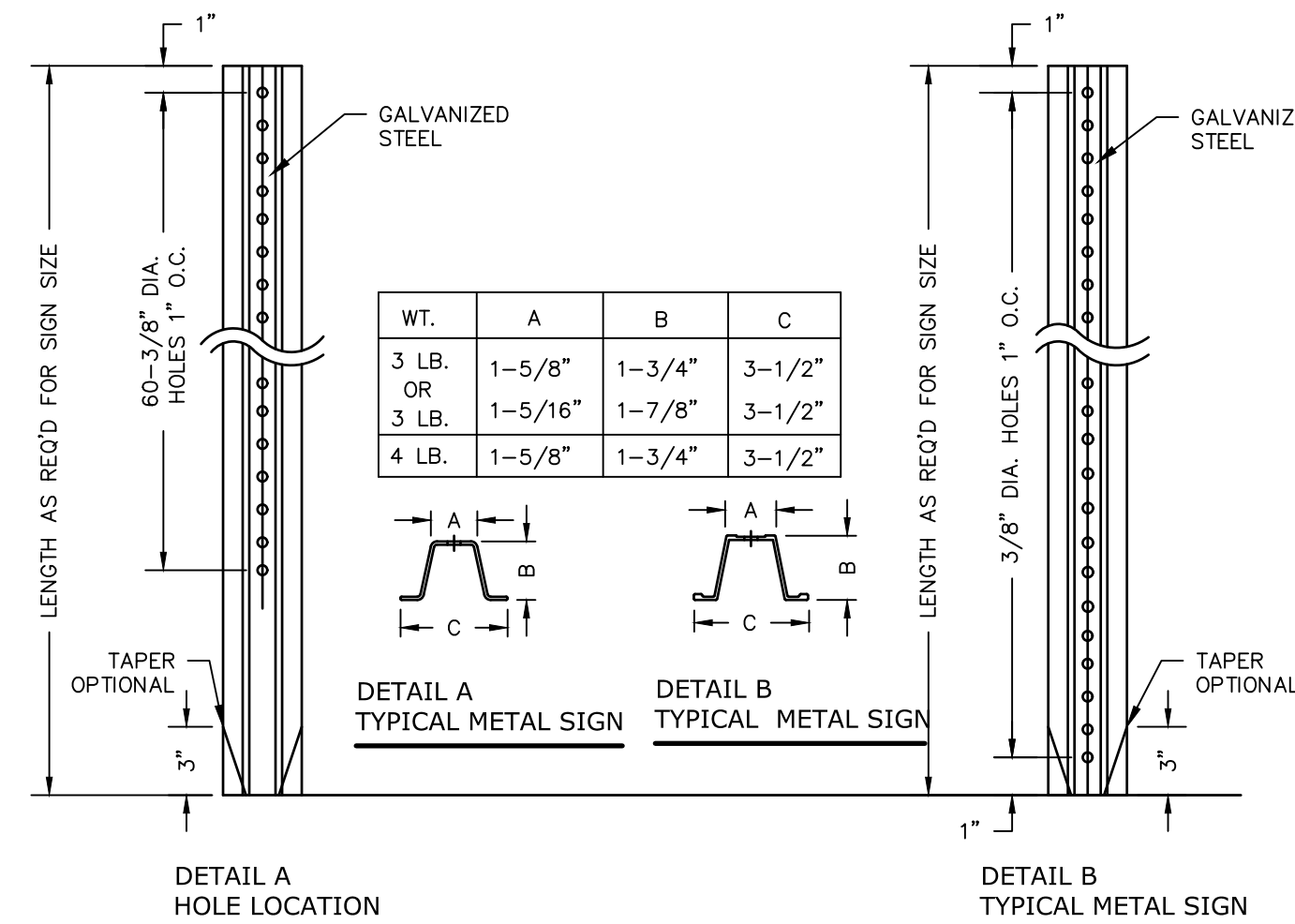
N.T.S.



- NOTES:
- PROVIDE TWO COATS OF PAINT ON ALL SURFACES.
 - SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

PARKING STALL DETAIL

N.T.S.



- NOTES:
- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF "30 LBS OR GREATER PER LINEAR FOOT.
 - AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
 - SIGN MOUNTING HEIGHT TO BE PER MUTCD REQUIREMENTS.
 - ALL SIGN POSTS SHALL HAVE "BREAK AWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS". THE "BREAK AWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGN SHOWN ON THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

TYPICAL METAL SIGN POST

N.T.S.

REVISIONS	Desc.	REVISED PER TWP. AND COUNTY COMMENTS
Date	10/29/2024	REVISED PER TOWNSHIP COMMENTS
No.	1	03/31/2025
	2	03/11/2025
	3	

Designed	J.B.W.
Drawn	J.R.J.
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Scale	N.T.S.
Project No.	2302658
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CAD File: C2302658-110



























Title

SITE DETAILS

Sheet No.

LEGEND

GRADING LEGEND

	LOD		LIMIT OF DISTURBANCE
	PROPERTY LINE		PROPERTY LINE
	EXISTING GRADES		EXISTING GRADES
	PROPOSED 1' GRADES		PROPOSED 1' GRADES
	PROPOSED 5' GRADES		PROPOSED 5' GRADES
	RIDGE LINE		RIDGE LINE
	SPOT GRADES		SPOT GRADES
	MATCH EXISTING SPOT GRADES		MATCH EXISTING SPOT GRADES
	STORM LINE		STORM LINE
	"M" TYPE CATCH BASIN		"C" TYPE CATCH BASIN
	OVERSIZED "C" TYPE CATCH BASIN		OVERSIZED "C" TYPE CATCH BASIN
	STORM MANHOLE		STORM MANHOLE
	ENDWALL STRUCTURE		ENDWALL STRUCTURE

GENERAL NOTES

2. A BLANKET ACCESS EASEMENT IS PROVIDED FOR INGRESS TO AN EGRESS FROM THE PUBLIC RIGHT-OF-WAY FOR ALL ON-SITE STORMWATER MANAGEMENT OR DRAINAGE FACILITIES INCLUDING BUT NOT LIMITED TO DRAINAGE SWALES AND STORMWATER FACILITIES (INLETS, MANHOLES, PIPES, ETC).
3. ALL INLETS, TOPS, MANHOLES, GRATES, ETC. SHALL BE CONSISTENT WITH PENNDOT PUBLICATION 72M.
4. NO INLET CROWN PIPE SHALL BE CUT IN ORDER TO ACCEPT THE SPECIFIED PORE SIZE.
5. ALL STORMWATER STRUCTURES DEPICTED WITH AN ASTERISK (*) SHALL BE EQUIPPED WITH A SUMP AND WATER QUALITY "SNOUT" INSERT. REFER TO DETAILS FOR SPECIFICATIONS.

GEOLOGY INFORMATION

Osp • ST. PAUL GROUP

SOILS INFORMATION

HaB • HAGERSTOWN SILT LOAM
3 TO 8 PERCENT SLOPE

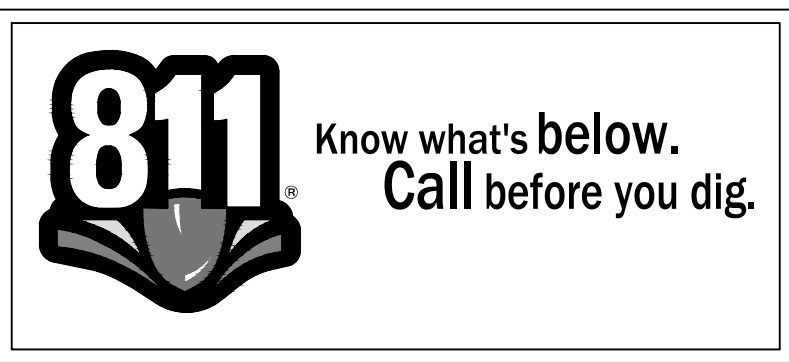
OPERATION AND MAINTENANCE OF BMPS

1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STORMWATER BEST MANAGEMENT PRACTICES (BMPs). THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITTEE).
2. ALL PCSM BMPs WILL BE INSPECTED ACCORDING TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT OR MAINTENANCE ACTIVITY.
3. SOIL, TRASH, DEBRIS OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 26A C.F.R. CODE 26A-10.03. NO WASTES OR WASTED BUILDING MATERIALS OR OTHER MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
4. ALL DAMAGED OR NON-FUNCTIONAL BMPs SHALL BE REPAIRED IMMEDIATELY. ANY PCSM BMPs THAT CANNOT BE REPAIRED MUST BE REPLACED AS SOON AS PRACTICABLE.
5. THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT STORMWATER FACILITIES LOCATED ON THE SUBJECT PROPERTY. PERMANENT MAINTENANCE OF THE STORM SYSTEM AFTER ACCEPTANCE WILL PRIMARILY CONSIST OF ROUTINE CLEANING OF ACCUMULATED SEDIMENT AND DEBRIS BY CITY STAFF OR PRIVATE CONTRACTORS. THE SPECIFIC MAINTENANCE STEPS AND SCHEDULE ARE LISTED BELOW:
6. COPIES OF ALL INSPECTION REPORTS FOR STORMWATER MANAGEMENT SHALL BE SENT TO HAMPTON TOWNSHIP.
7. A BLANKET EASEMENT IS PROVIDED FOR INGRESS TO AN EGRESS FROM THE PUBLIC RIGHT-OF-WAY FOR ALL ON-SITE STORMWATER MANAGEMENT OR DRAINAGE FACILITIES INCLUDING BUT NOT LIMITED TO DRAINAGE SWALES AND DRAINAGE FACILITIES (INLETS, MANHOLES, PIPES, ETC).

STORMWATER COLLECTION/CONVEYANCE		
OPERATION & MAINTENANCE PROCEDURES		
ACTIVITY	SCHEDULE	
INSPECT INLETS, MANHOLES AND PIPING FOR TRASH AND DEBRIS. IF TRASH AND/OR DEBRIS IS DISCOVERED, REMOVE FROM FACILITIES. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.	CLEAN ONCE PER YEAR & REPAIR AS NEEDED	
INSPECT OUTFALL STRUCTURE FOR DEBRIS, CLOGGING AND FUNCTIONALITY. IF A PROBLEMS ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM. INSPECTION SHALL OCCUR QUARTERLY DURING 1ST YEAR & ONCE PER YEAR THEREAFTER	QUARTERLY & ONCE PER YEAR	
INSPECT COLLECTION/CONVEYANCE SYSTEMS FOR DEBRIS, CLOGGING AND FUNCTIONALITY. IF A PROBLEMS ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM.	TWICE PER YEAR	
GENERAL MAINTENANCE NOTES: 1. REMOVE DEBRIS AND CLOGGING FROM COLLECTION/CONVEYANCE FACILITIES BY VACUUMING. 2. CATCH BASINS SHOULD BE CLEANNED BEFORE HALF FULL.		

WATER QUALITY SNOTOUT	
OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE
INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT GREATER THAN ONE-HALF INCH.	DURING CONSTRUCTION
INSPECTIONS SHOULD OCCUR A MINIMUM OF FOUR (4) TIMES PER YEAR.	POST CONSTRUCTION
INSPECTIONS SHOULD OCCUR BEFORE AND AFTER SNOWFALL SEASON.	WINTER
GENERAL MAINTENANCE NOTES:	
1. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE STRUCTURE PRIOR TO IT REACHING ONE FOOT IN DEPTH.	
2. AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT.	
3. REMOVE CAKED ON SILT FROM STRUCTURE AND SNOTOUT, AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.	
4. REPLACE SNOTOUT IF DAMAGED WITH THE SNOTOUT OF EQUAL OR GREATER QUALITY.	

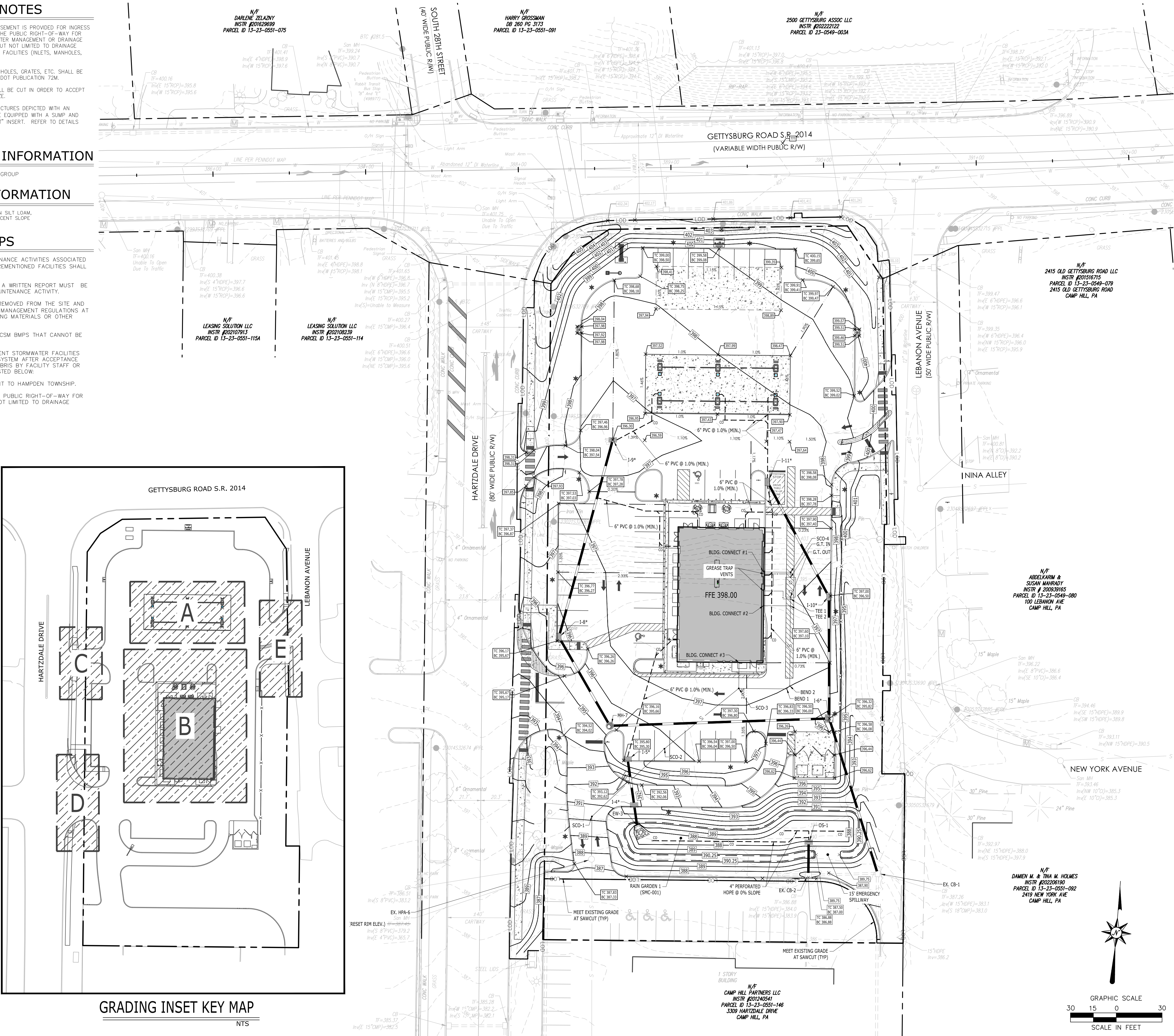
RAIN GARDEN		
OPERATION & MAINTENANCE PROCEDURES		
ACTIVITY	SCHEDULE	
WATER PLANTS DAILY FOR TWO WEEKS	AT PROJECT COMPLETION	
REMULCH VOID AREAS, TREAT ANY DISEASED TREES AND SHRUBS, MOW TURF AREAS	AS NEEDED	
INSPECT OUTLET STRUCTURE AND MANHOLES/ INLETS CONTRIBUTING TO AND WITHIN THE FACILITY FOR TRASH AND DEBRIS. REMOVE TRASH AND/OR DEBRIS FROM THE SYSTEM. INSPECT SOIL AND REPAIR ANY ERODED AREAS.	MONTHLY	
INSPECT FOR SEDIMENT BUILDUP, EROSION, AND THE CONDITION OF THE VEGETATION. REMOVE AND REPLACE DEAD AND DISEASED VEGETATION. REMOVE ACCUMULATED SEDIMENT.	TWICE PER YEAR	
ADD MULCH AND REPLANT VEGETATION IF NECESSARY	ONCE PER YEAR	
GENERAL MAINTENANCE NOTES:		
1. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED.		
2. DURING PERIODS OF EXTENDED DRY WEATHER, RAIN GARDEN MAY REQUIRE WATERING.		



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA
ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING
DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO
UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.
PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299

GRADING INSET KEY MAP

NTS



BL Companies

Architecture
Engineering
Environmental
Land Surveying

2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665



Sheetz, Inc.
5700 Sixth Avenue
Altoona, PA 16602
(814) 946-3611

FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS		
No.	Date	Desc.
1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
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3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

Designed J.B.W.
 Drawn J.R.J.
 Reviewed J.B.W.
 Scale 1" = 30'
 Project No. 2302658
 Date 09/16/2024
 CAD File:
 C2302658-20

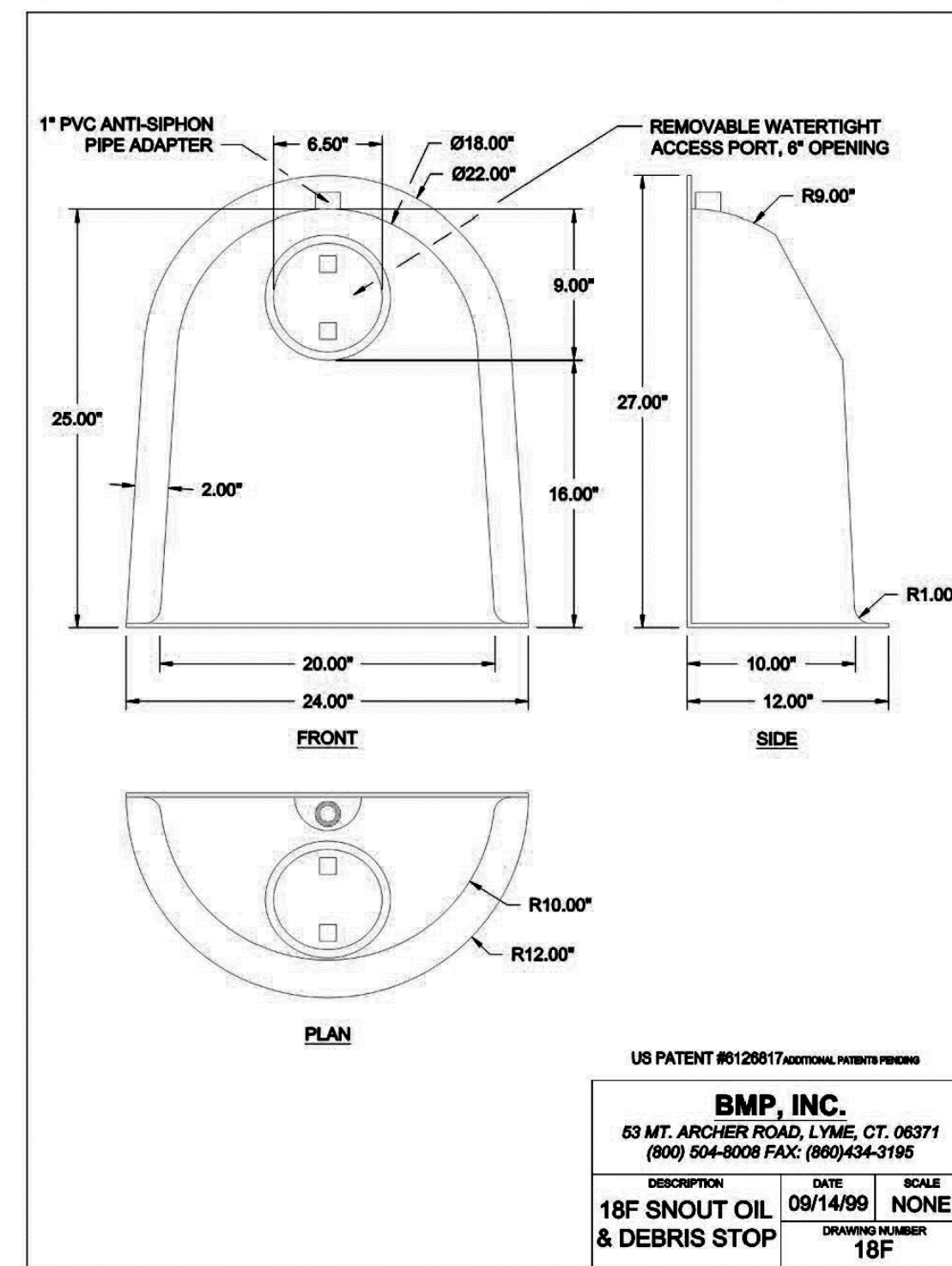
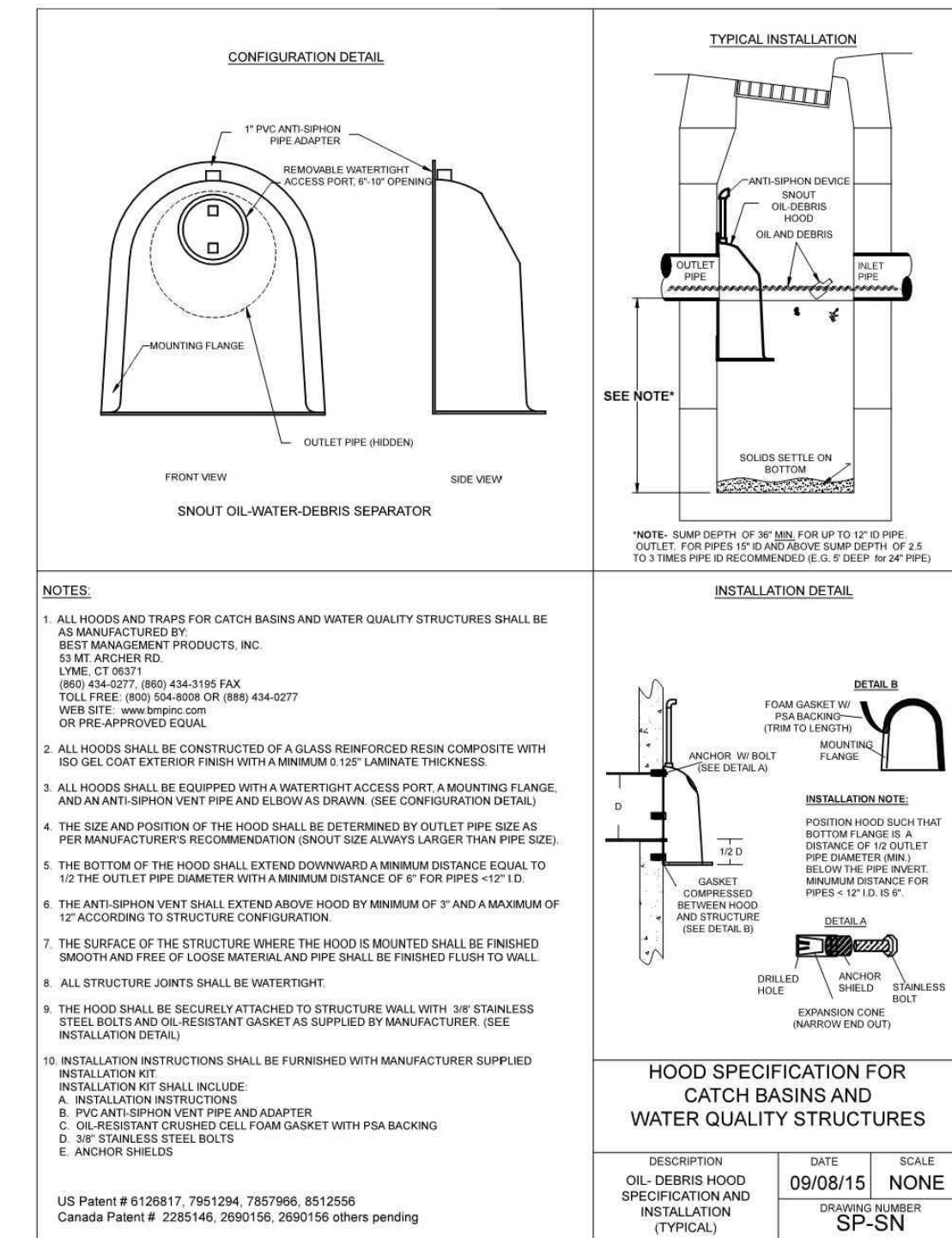
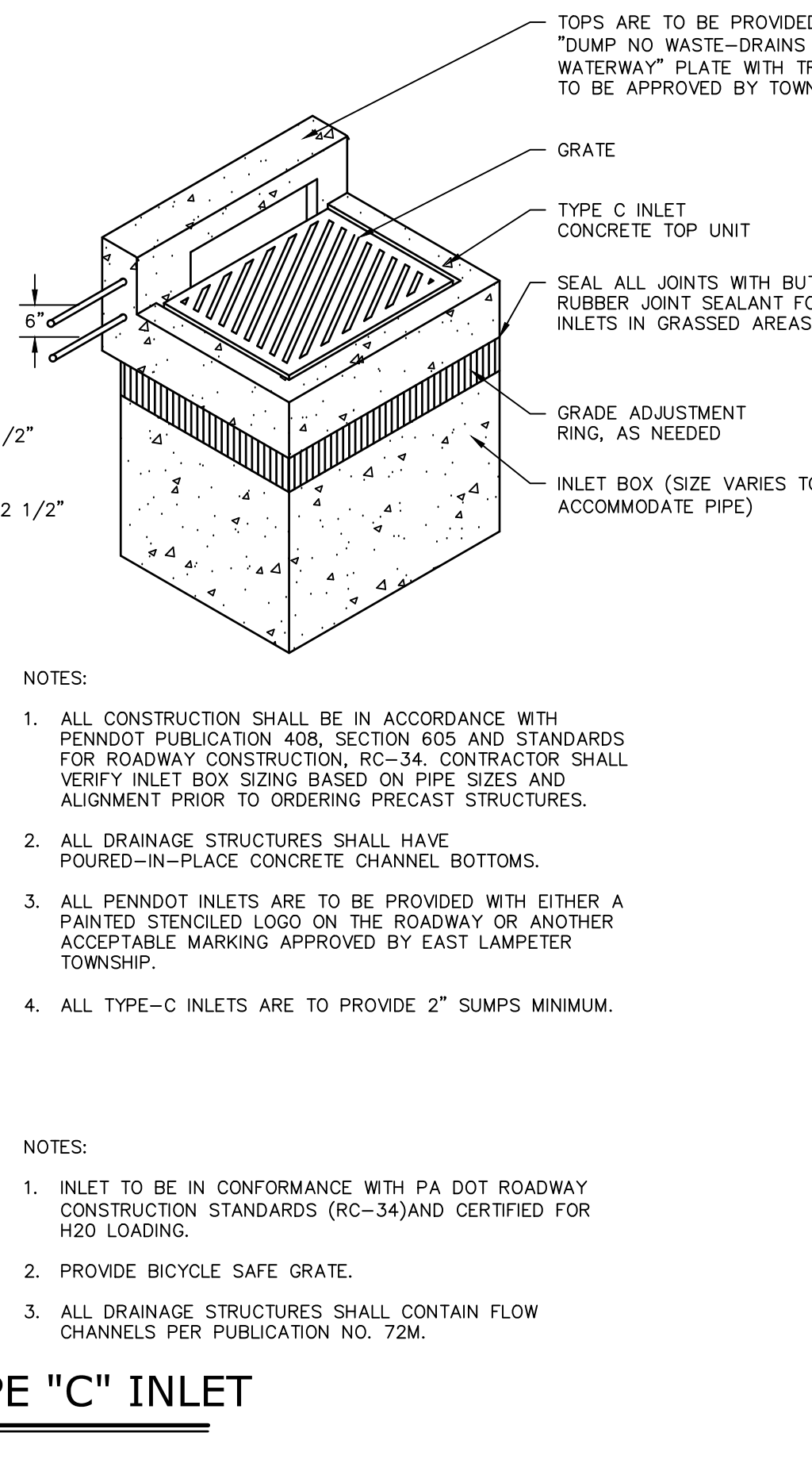
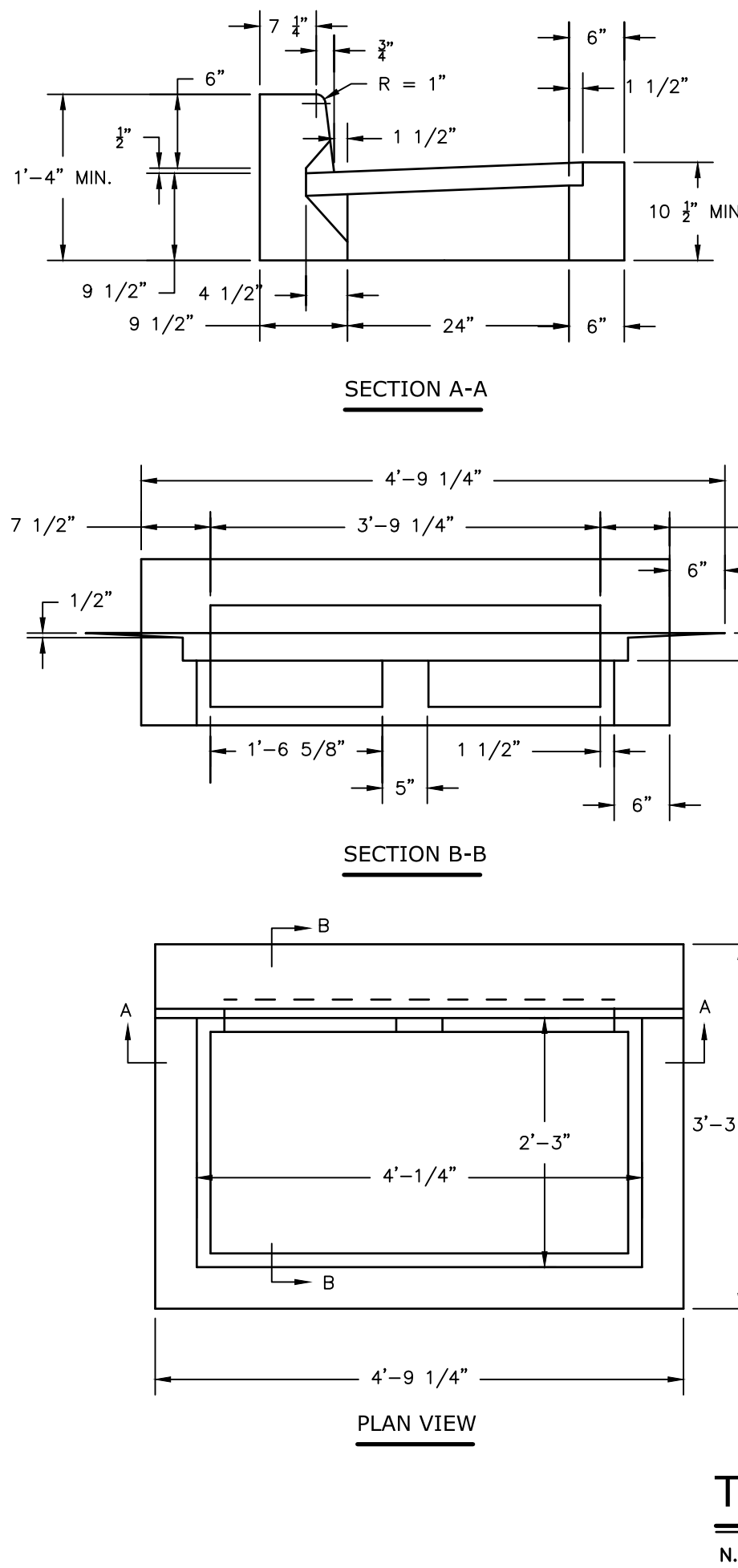
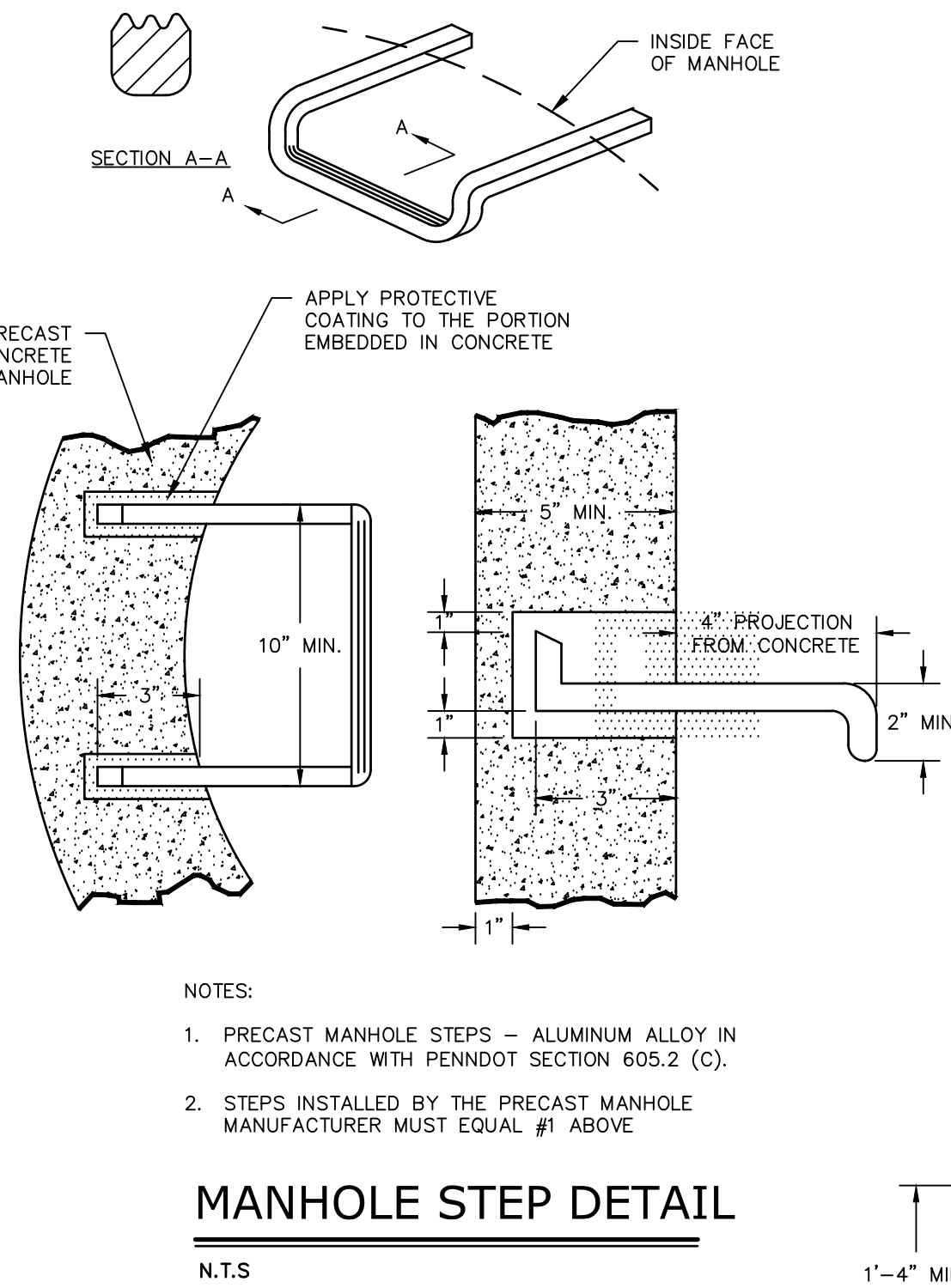
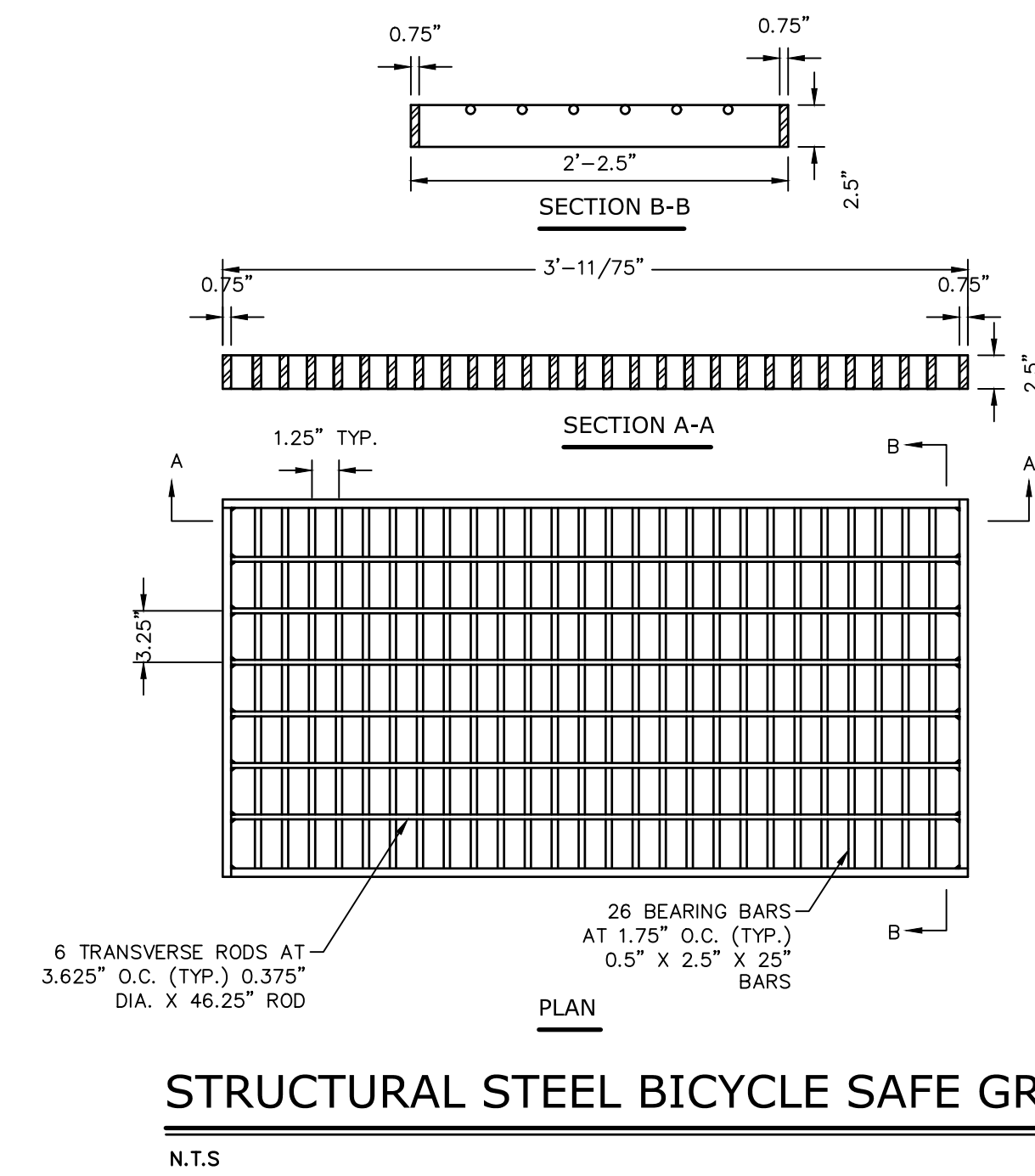
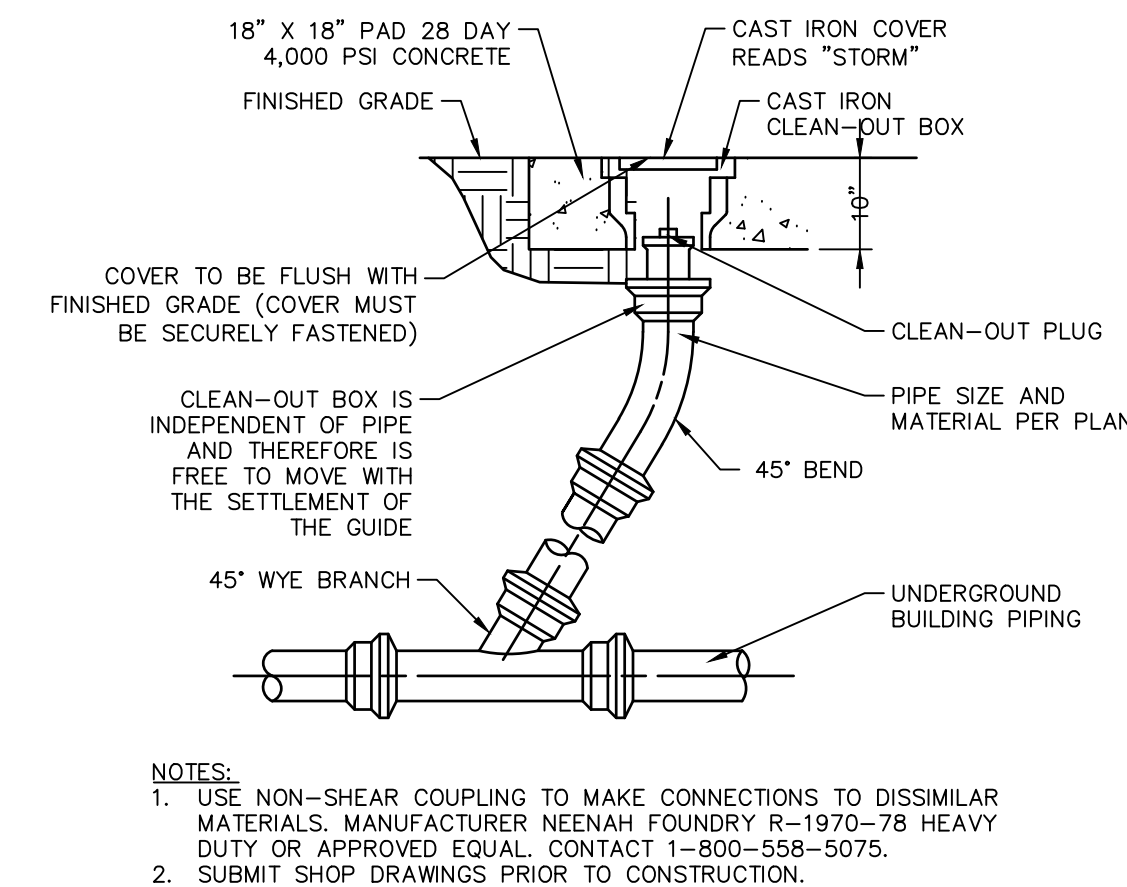
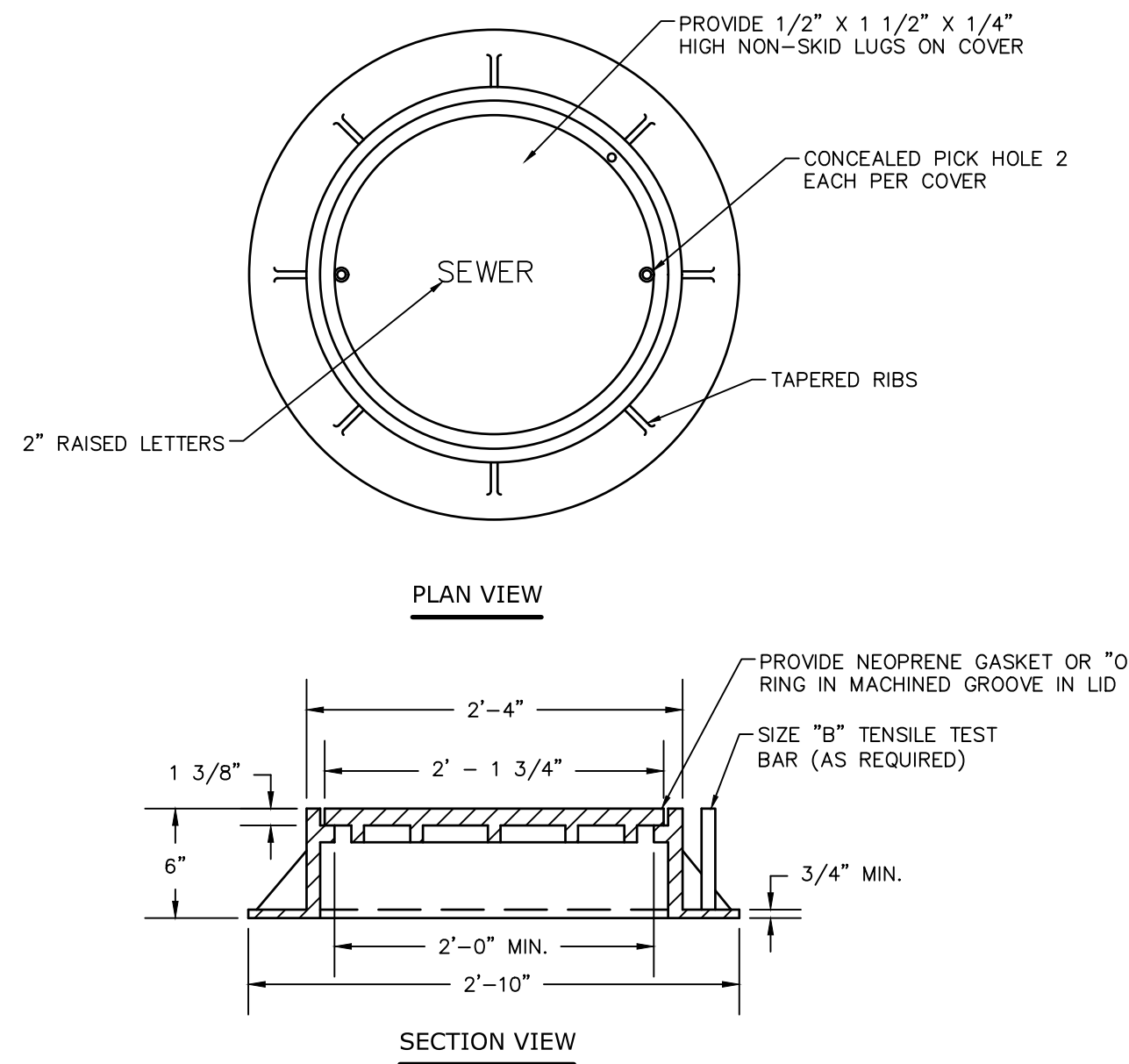
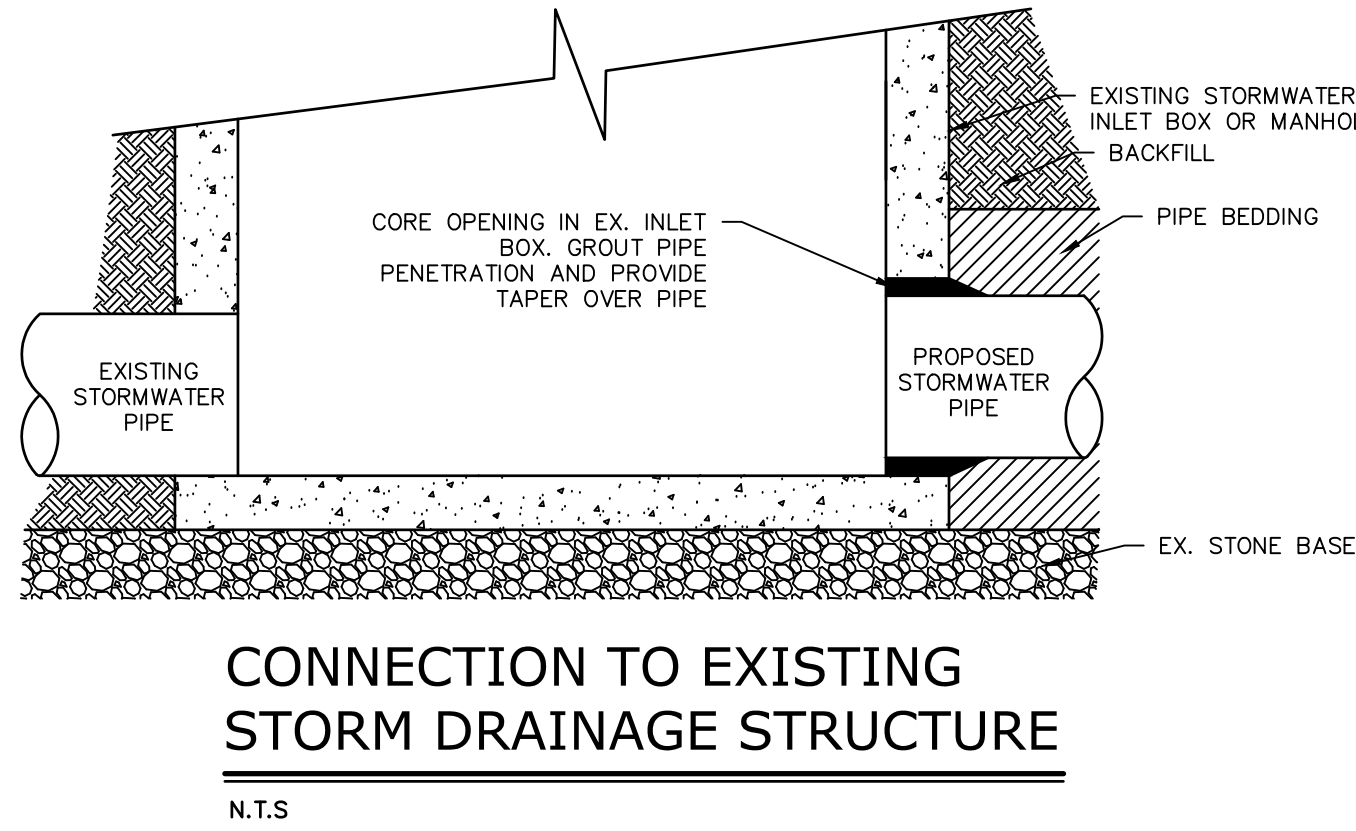
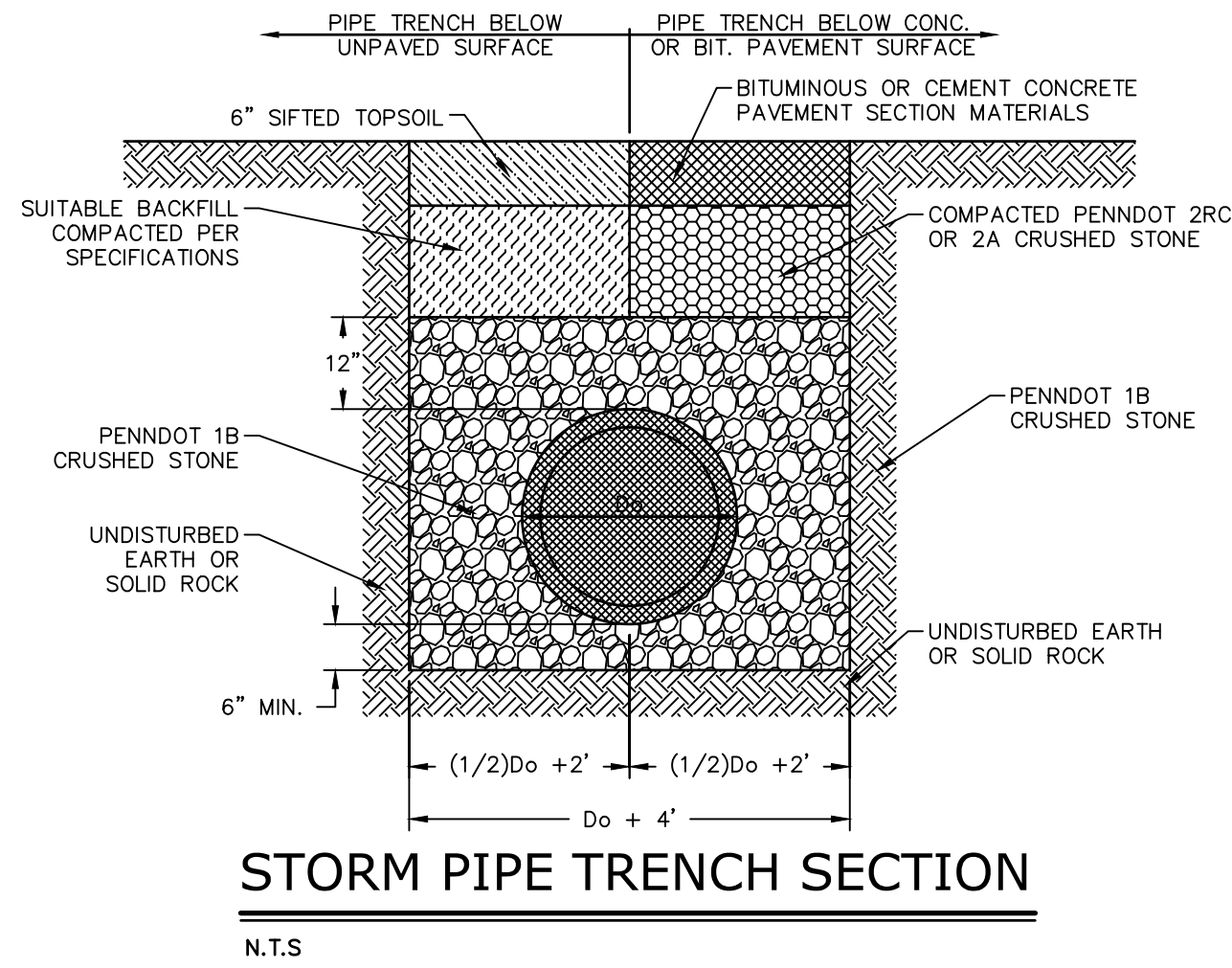
Title

**GRADING &
DRAINAGE PLAN**

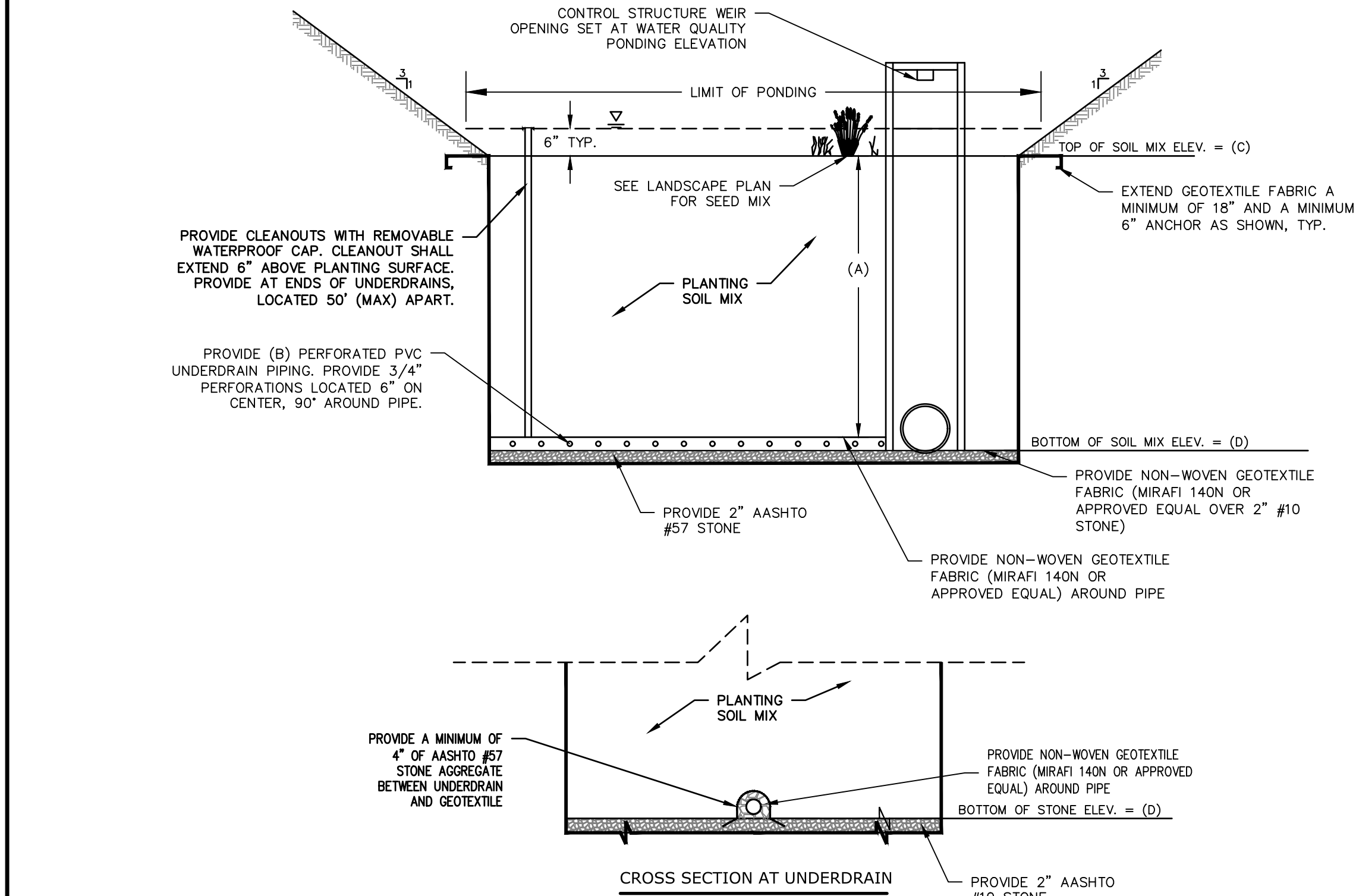
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C2.00
No. 10 of 22

3/12/2024, 1:00PM, 6510862313A02302658-01.dwg, C2302658-10.DWG, C2.100, 44X36.



RAIN GARDEN FACILITY	SOIL MIX (A)	UNDERDRAIN DIAMETER (B)	SURFACE ELEV. (C)	BOTTOM OF PLANTING SOILS ELEV. (D)
1	2.5'	4"	388.00	385.50



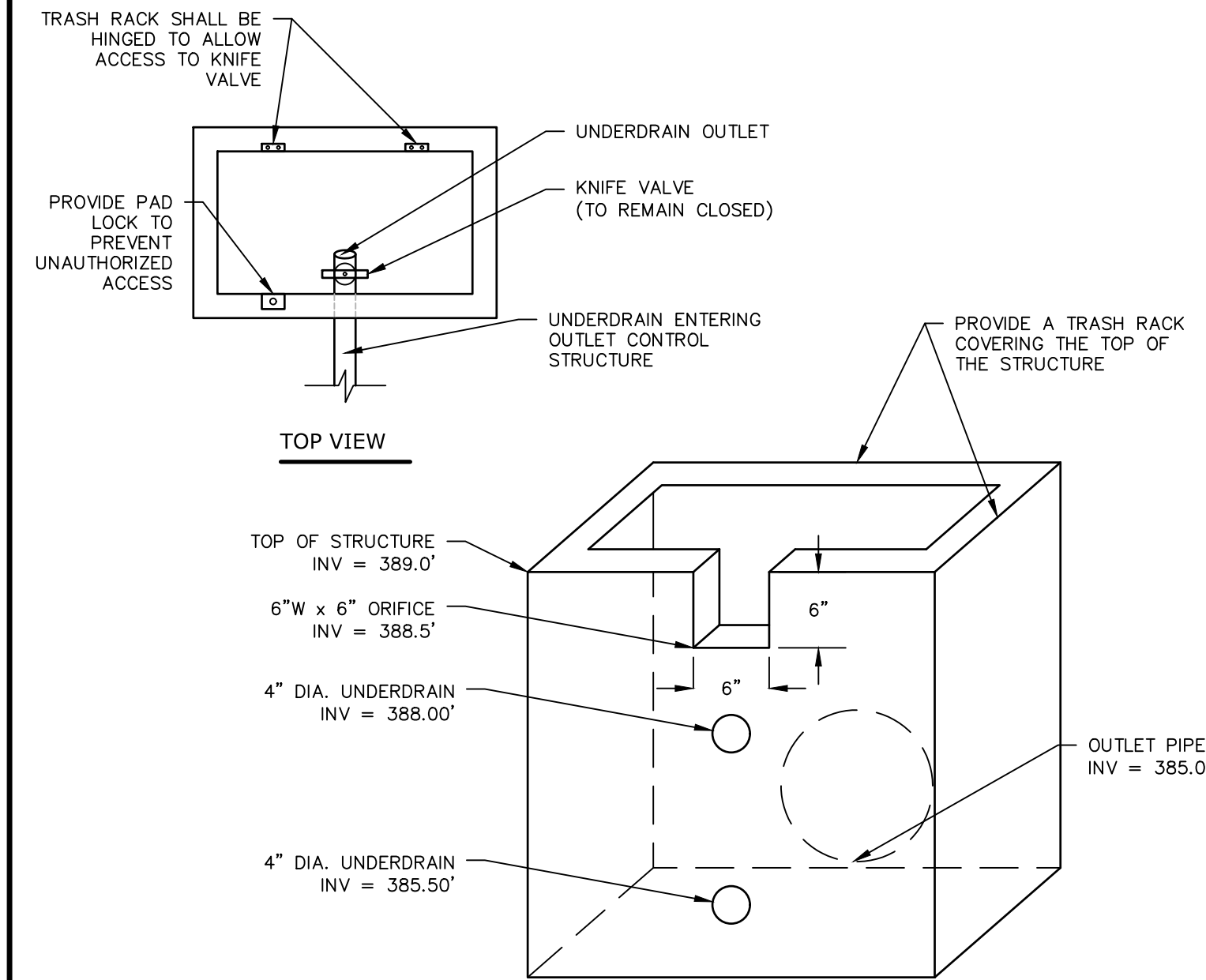
PLANTING SOIL MIX SHALL BE A
MAXIMUM OF 10% CLAY AND HAVE
A MINIMUM PERCOLATION RATE OF
1.0 IN PER HOUR. CONTRACTOR
SHALL PROVIDE LAB ANALYSIS
AND TEST RESULTS FOR
APPROVAL BY THE GEOTECHNICAL
ENGINEER PRIOR TO INSTALLATION.

NOTES:

1. PLACEMENT OF STONE OVER AND AROUND UNDERDRAIN MUST BE
DONE WITH EXTREME CARE AND SHOULD BE SPREAD MANUALLY TO
AVOID DAMAGE
2. PLANTING SOIL MIX TO BE COMPRISED OF:
25% MAX SOIL (FROM SITE)
25% MIN SAND
25% MIN SHREDDED LEAF MULCH (OR ORGANIC COMPOST)
25% MIN FINE SHREDDED WOOD CHIPS

RAIN GARDEN CROSS SECTION

N.T.S

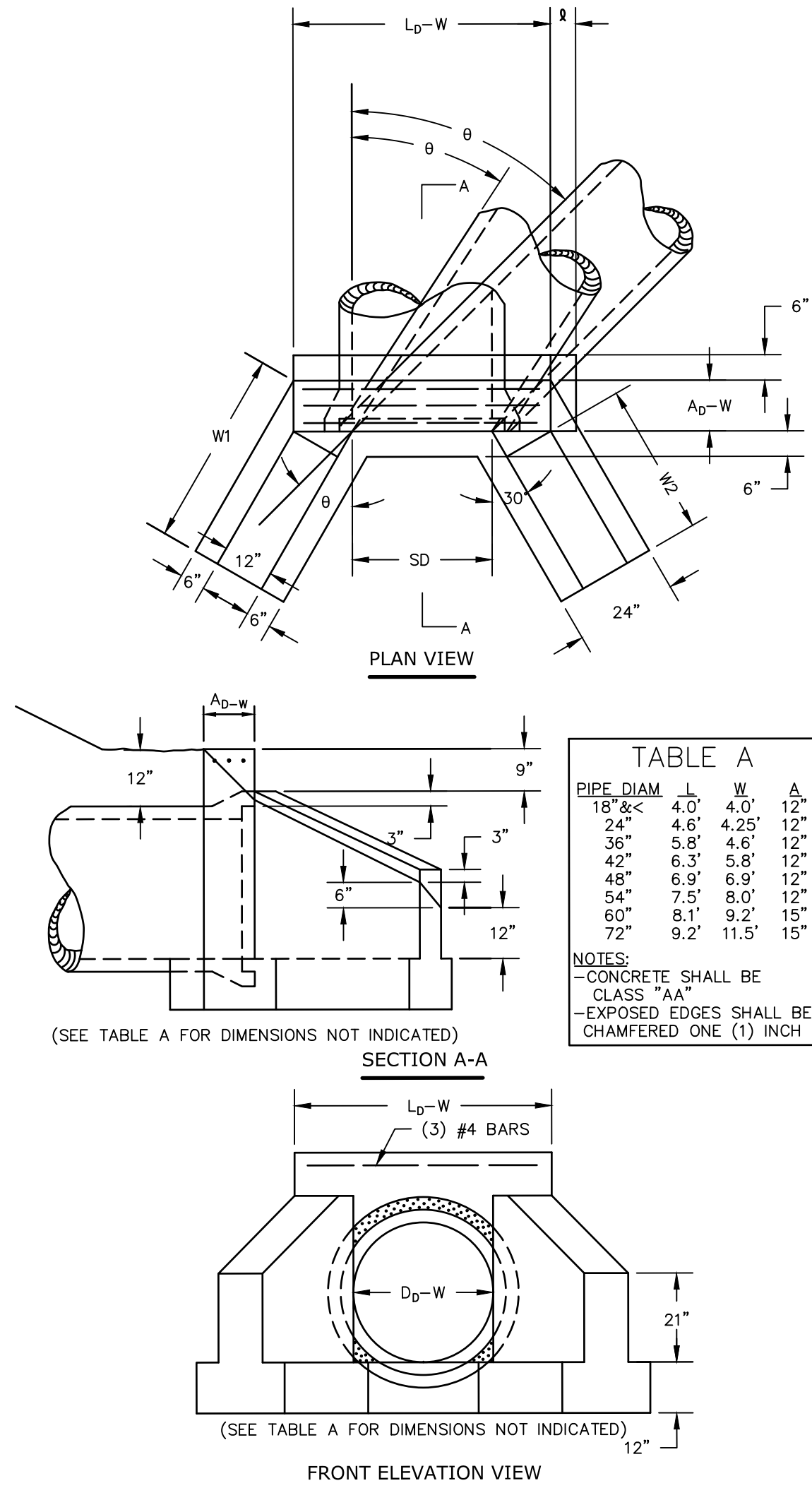


NOTES:

1. THE PROPOSED OUTLET STRUCTURE SHALL BE A TYPE "M" INLET IN ACCORDANCE WITH
PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION,
RC-46. OUTLET STRUCTURE SHALL CONTAIN A TRASH RACK.
2. A KNIFE VALVE SHALL BE INSTALLED ON UNDERDRAIN INTERNAL OF THE OUTLET
STRUCTURE. KNIFE VALVE SHALL REMAIN CLOSED UNLESS APPROVED BY SITE ENGINEER
AND TOWNSHIP.

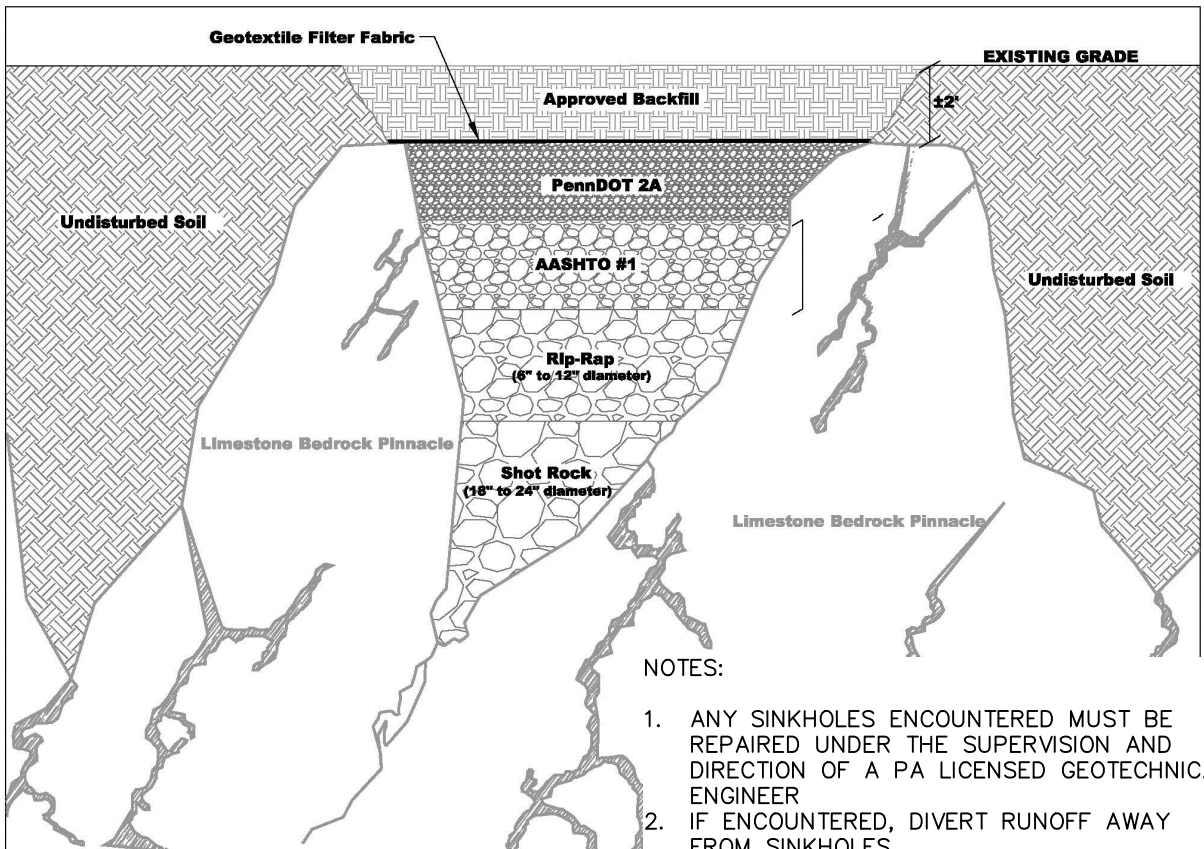
PERMANENT OUTLET STRUCTURE

N.T.S



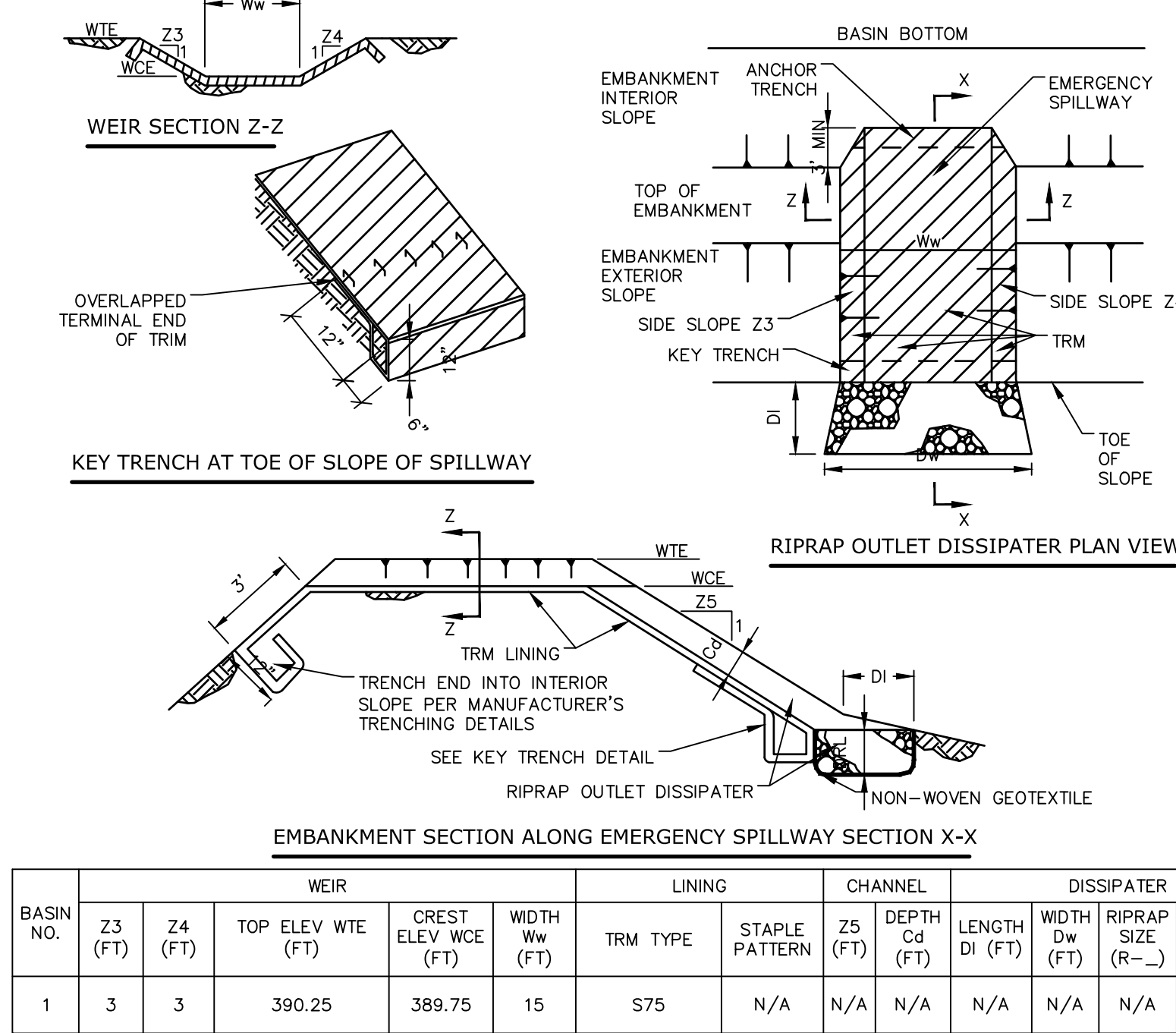
TYPE DW ENDWALL

N.T.S



SINKHOLE REPAIR DETAIL

N.T.S

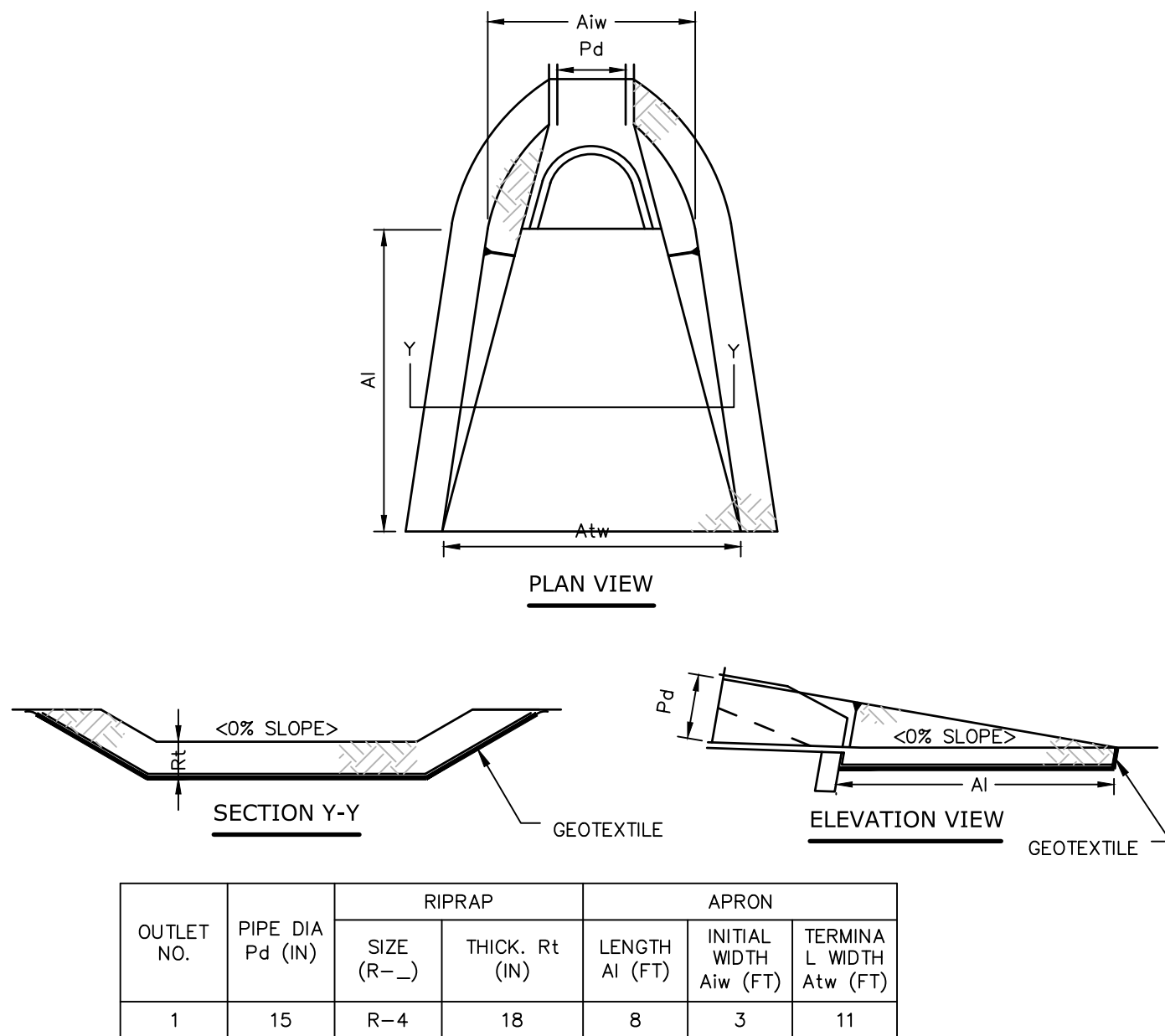


HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.
RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.
THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.
* SEE MANUFACTURER'S SPECIFICATIONS

EMERGENCY SPILLWAY WITH TRM LINING DETAIL

N.T.S

PADEP-7-13



ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL
BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.
DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL DETAIL

N.T.S

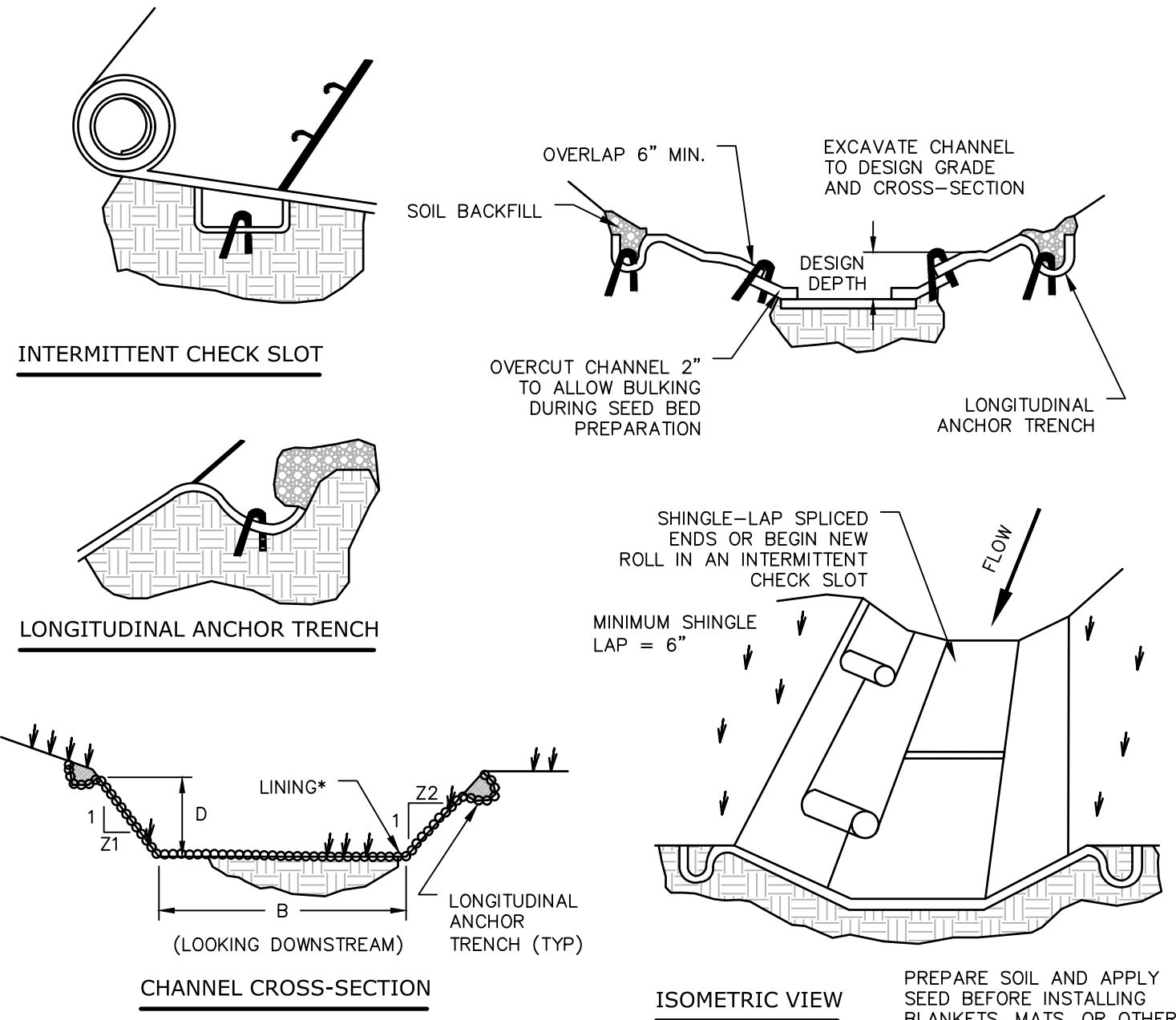
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REVISIONS	Desc.	REVISED PER TWP. AND COUNTY COMMENTS
No.	Date	REVISED PER TOWNSHIP COMMENTS
1	10/29/2024	REVISED PER TOWNSHIP COMMENTS
2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
3	03/11/2025	REVISED PER TOWNSHIP COMMENTS

Designed	J.B.W.
Drawn	J.R.J.
Reviewed	J.B.W.
Scale	N.T.S.
Project No.	2302658
Date	09/16/2024
CAD File:	C2302658-110

GRADING & DRAINAGE DETAILS

Sheet No.



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION.

CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING*
1	2	1	8	3	3	SC250

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

VEGETATED CHANNEL DETAIL

N.T.S

PADEP-6-1



CUT SHEET RV05.01-1
July 2024

KFD - Series D Flexgate Manual Knife Gate Valve



- High-quality, full-port valve
- Heavy-duty Stainless Steel gate
- Leak-proof elastomer packing gland
- Pneumatic, electric, hydraulic or manual actuation

Materials of Construction

- **Body:** 3-12" ductile cast iron; 14-30" cast iron; 36-42" fabricated steel
- **Gate:** 316 Stainless Steel, 17-4 pH, Hastelloy C-276
Other materials are available, contact Red Valve.
- **Optional Gate Coating:** Polytetrafluoroethylene (PTFE)
- **Elastomers:** Ethylene Propylene Diene Terpolymer (EPDM), Acrylonitrile-Butadiene (NBR), Chloroprene (CR), Styrene Butadiene (SBR), Fluoro Rubber (FKM)
- **Drilled and tapped flanges:** ASME 150, ASME 300, ASME B16.1 125 cast flanges, AWWA C110 125 flanges, EN1092 PN 10, EN1092 PN 16
Other drill patterns available upon request.
- **Optional:** Extended stems and torque tubes, floorstands

The Series D Flexgate Manual Knife Gate Valve is built with a cast or fabricated body and features a heavy-duty stainless steel gate. Ductile iron cast bodies provide enhanced performance when external and internal factors require a less brittle and malleable material. Removable rubber cartridge seats on either side of the gate provide a bi-directional seal with excellent wear resistance. The seats are metal-reinforced and available in a wide variety of elastomers for abrasion resistance and chemical compatibility. A port at the base of the valve allows for flushing.

Series D Flexgate Knife Gate Valves provide a bi-directional shutoff. A heavy-duty top works is standard and the relatively simple design eliminates expensive overhauls, unscheduled shut downs and costly replacement parts. The only replacement parts are the cartridge seats and packing.

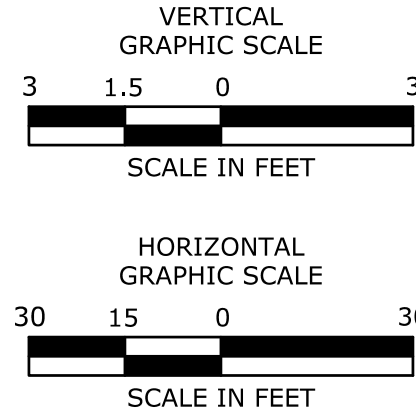
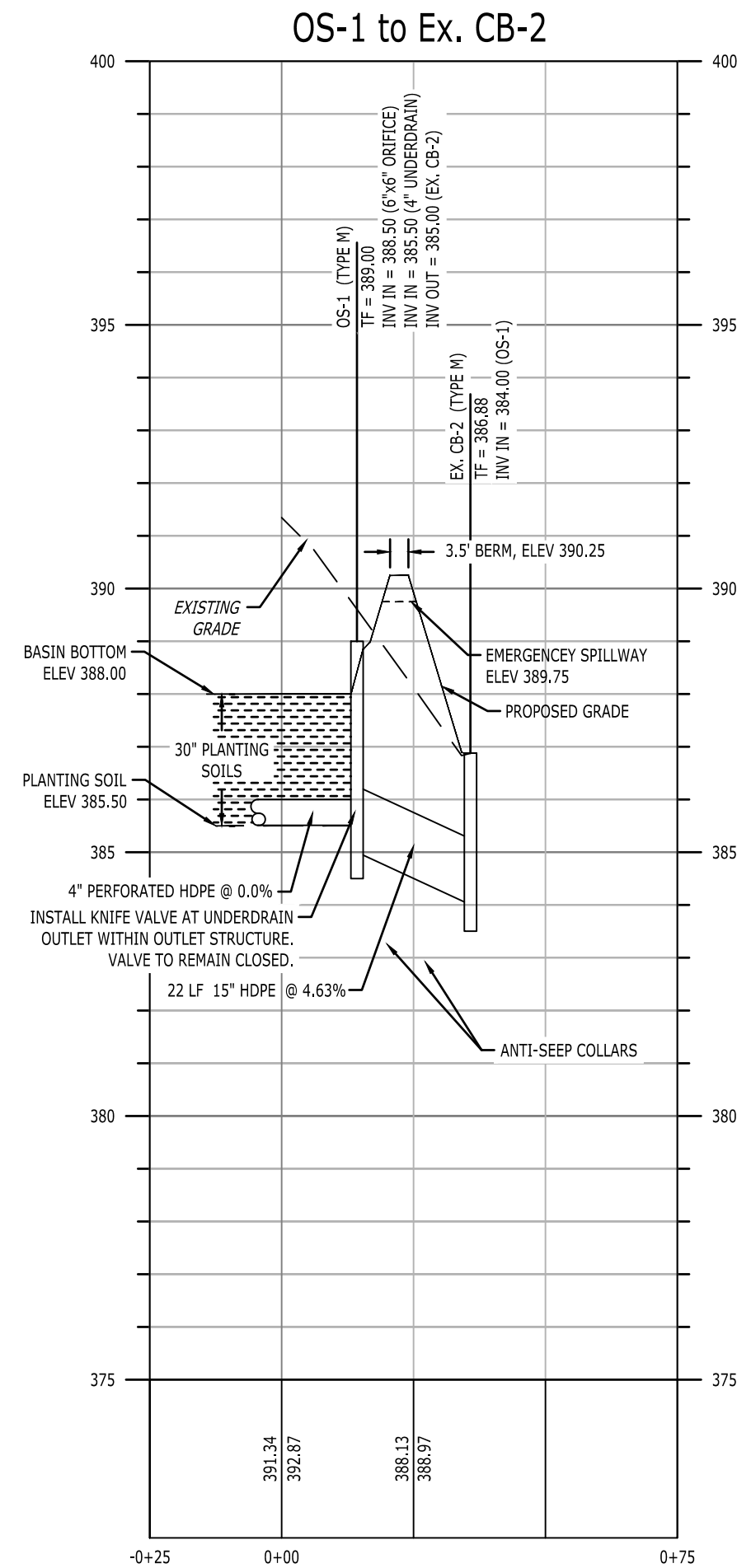
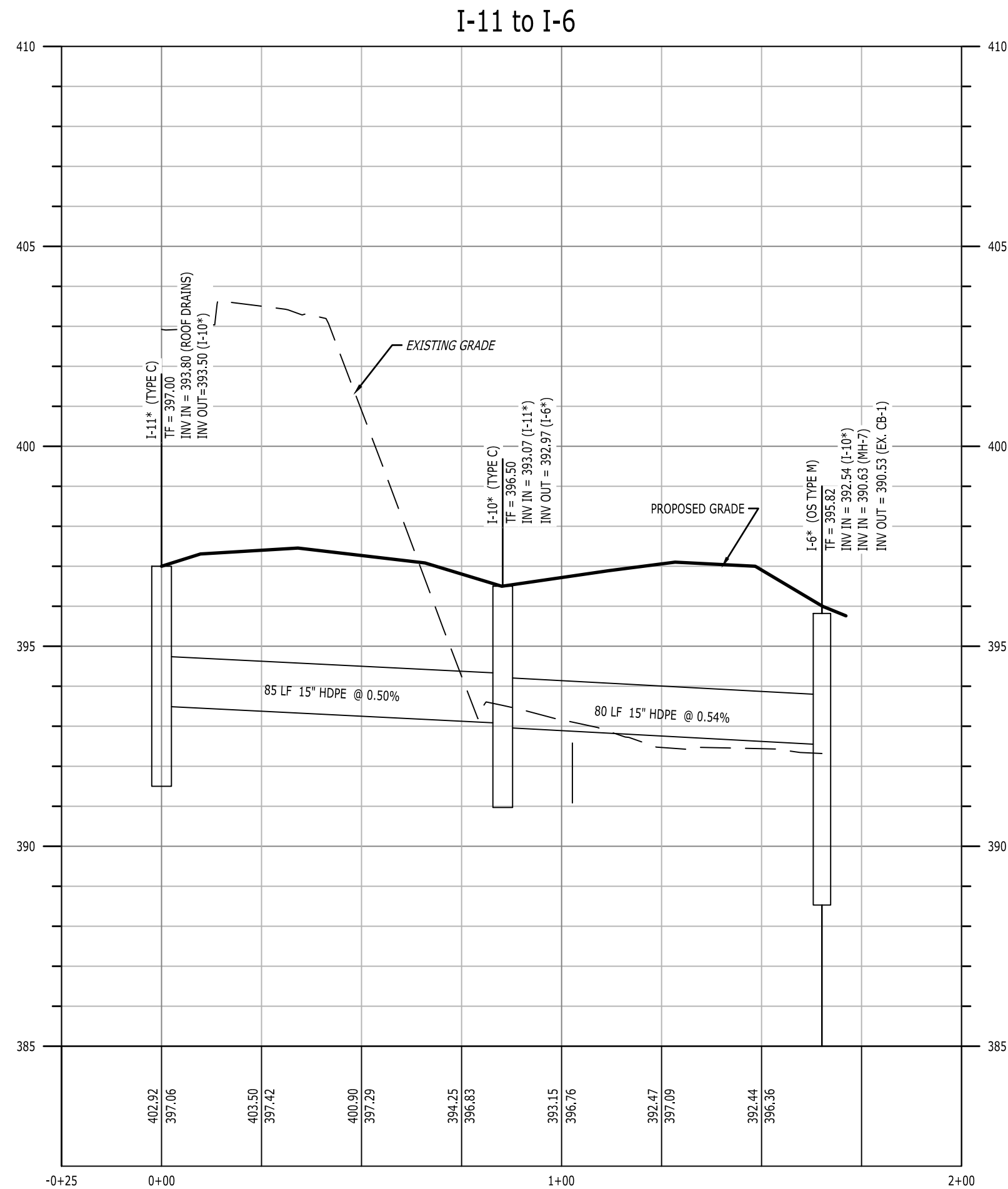
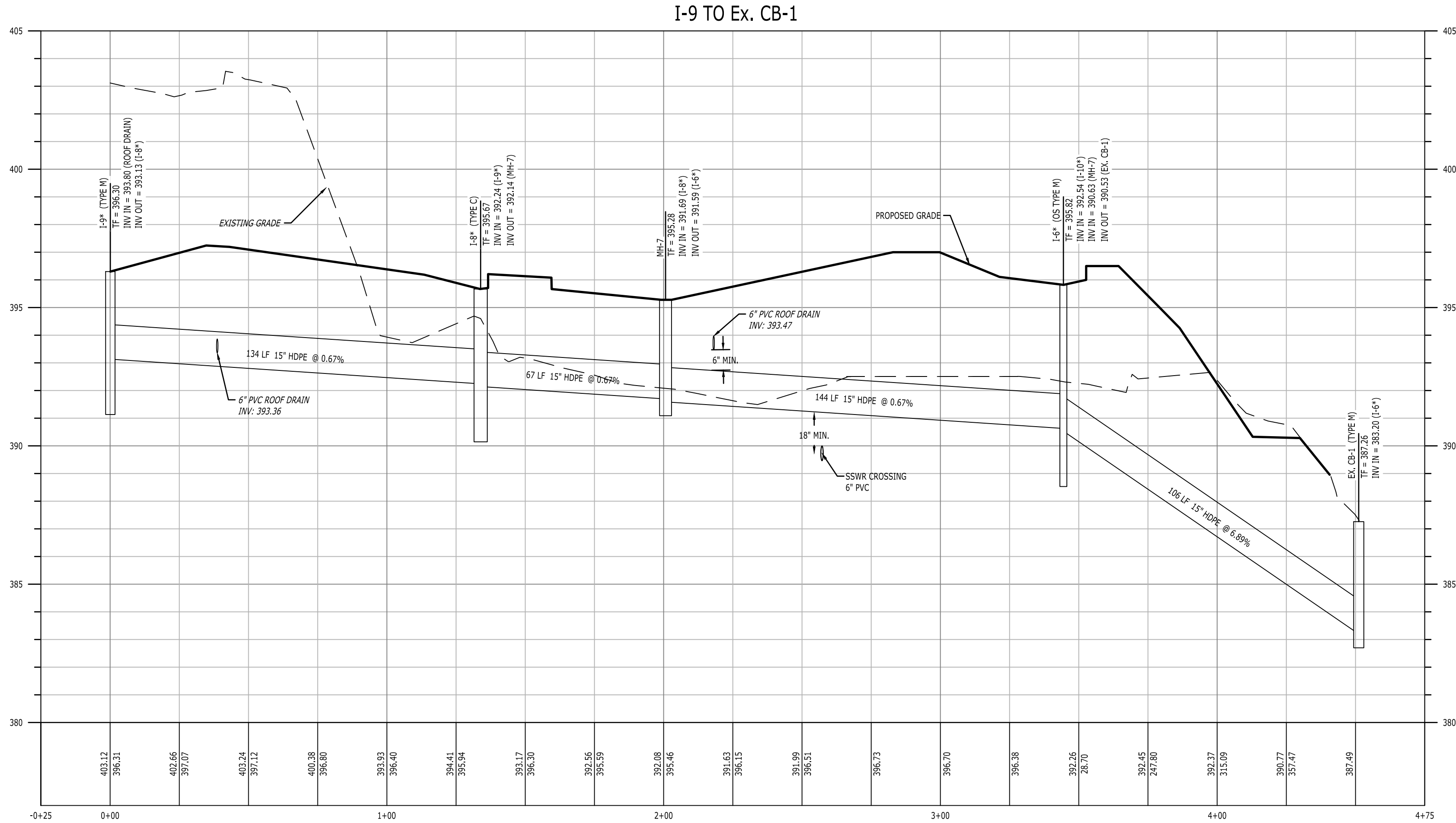
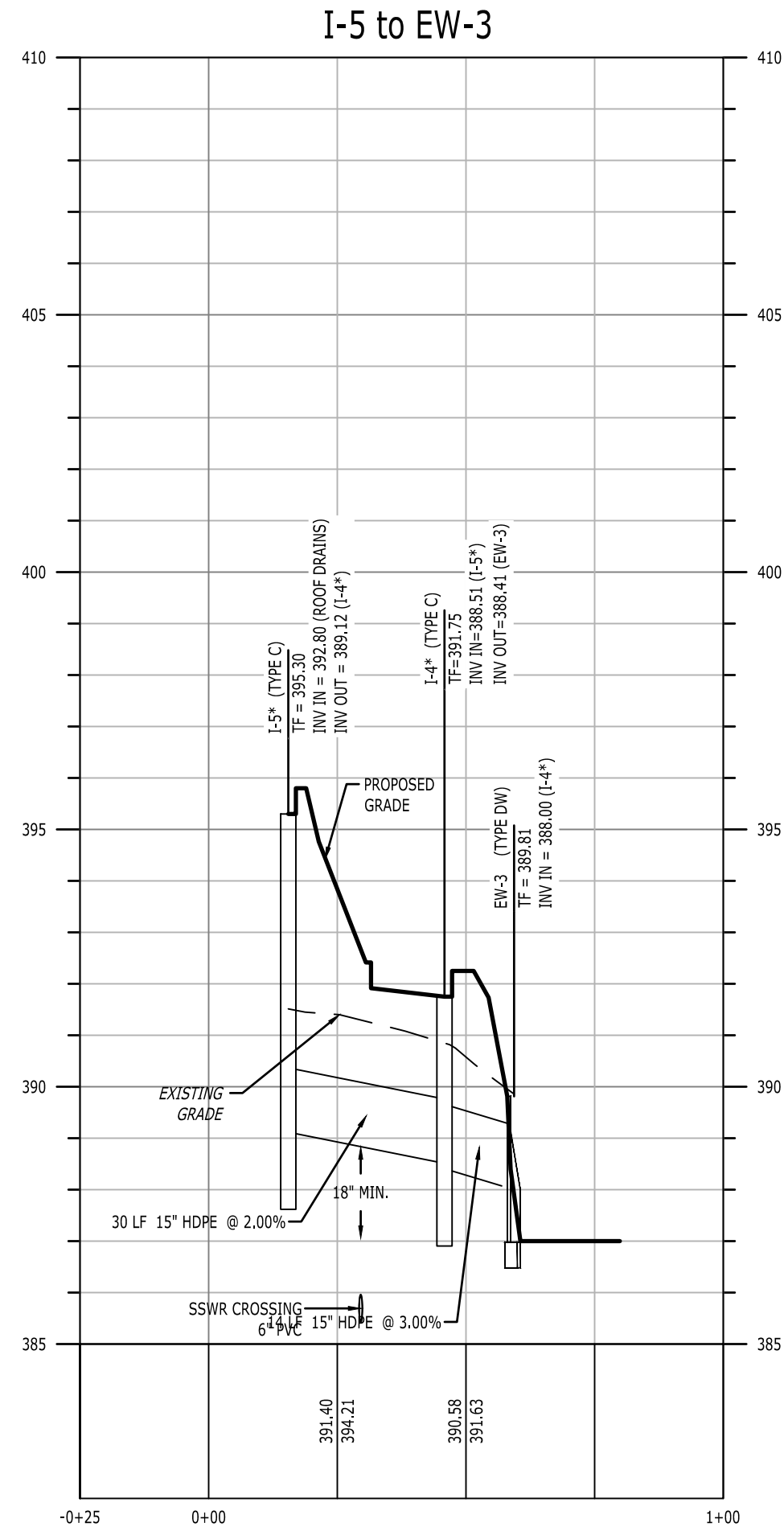
Series D Flexgate Valves size 3-12" are provided with standard handwheel mechanisms featuring cast iron handwheels, machined 303 Stainless Steel stems with yoke sleeves, and thrust washers designed to reduce operating torque. Series D Valves size 14" and larger feature fabricated (tubular) handwheels. It is recommended that manual Series D Valves 12" and larger be specified with a 4:1 bevel gear actuator to reduce rim pull. Pneumatic and electric operators are available.

Series D Flexgate Manual

DIMENSIONS in/mm								MAX. WORKING PRESSURE psi/kPa	
VALVE SIZE D	LENGTH F to F	WIDTH A	HEIGHT B	HEIGHT CLOSED H'	HEIGHT OPEN H	HEIGHT PNEUMATIC ACTUATED	GATE THICKNESS	GATE MATERIAL 316	17-4 PH
4"	22.5	8.0	3.88	11.13	20.33		0.25	150	150
6"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
8"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
10"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
12"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
14"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
16"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
18"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
20"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
24"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
30"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
36"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
42"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
48"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
54"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
60"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
72"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
84"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
96"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
108"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
120"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
132"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
144"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
156"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
168"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
180"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
192"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
204"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
216"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
228"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
240"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
252"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
264"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
276"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
288"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
300"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
312"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
324"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
336"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
348"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
360"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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420"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
432"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
444"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
456"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
468"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
480"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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504"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
516"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
528"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
540"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
552"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
564"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
576"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
588"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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612"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
624"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
636"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1188"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1200"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1212"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1224"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1236"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1248"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1260"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1272"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1284"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1296"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1344"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1356"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1440"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1464"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1500"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
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1524"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1536"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1548"	25.5	9.0	4.35	13.25	22.63		0.25	150	150
1560"	25.5	9.0	4.35	13.25	2				

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FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS	No.	Date	Desc.
	1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
	2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
	3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 30'
Project No. 2302658
Date 09/16/2024
CAD File: C2302658-22

Title
**STORM
PROFILES**

Sheet No.

C2.20
No. 15 of 22

Xref(s) : X800 - X21



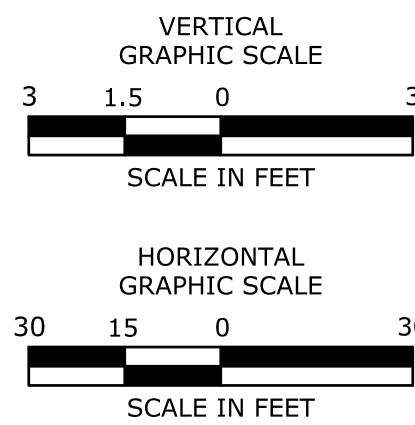
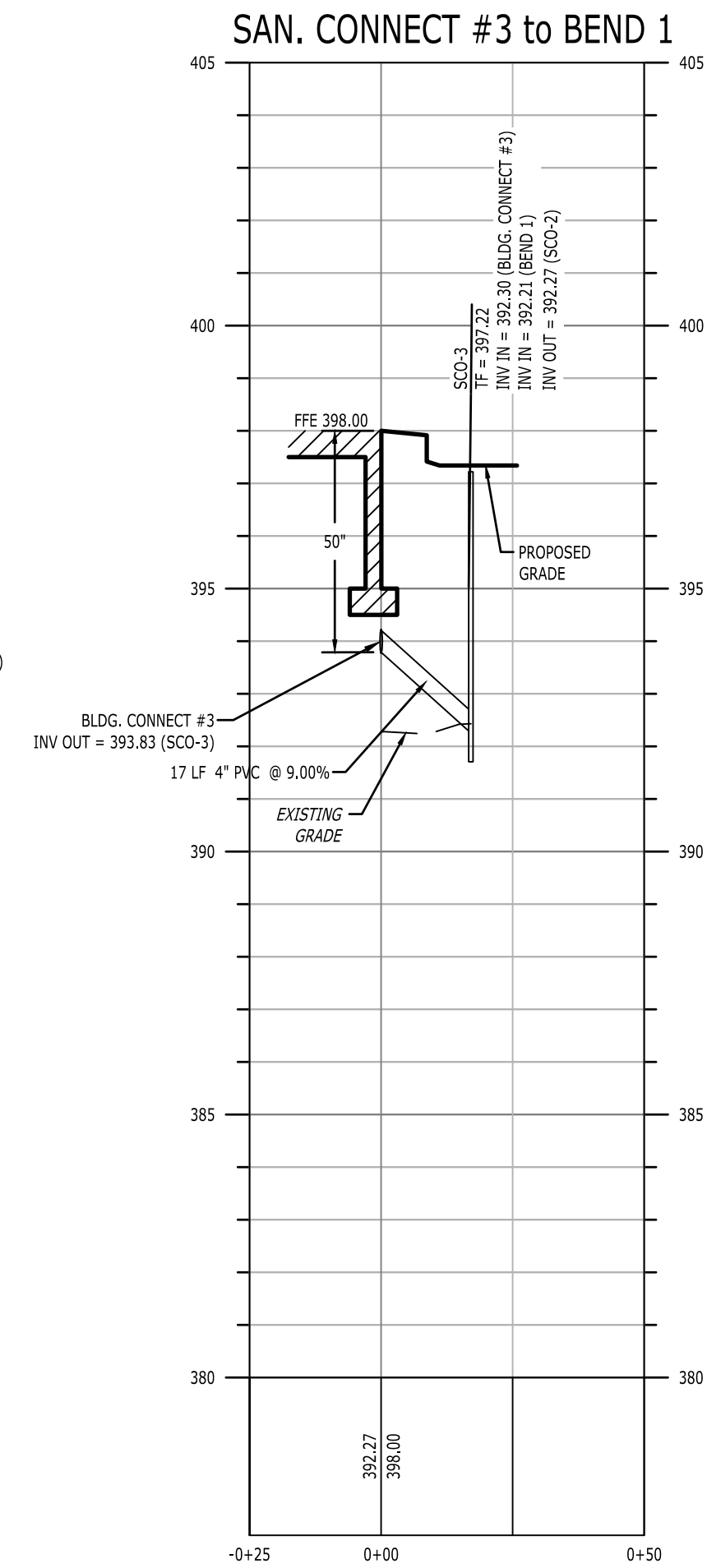
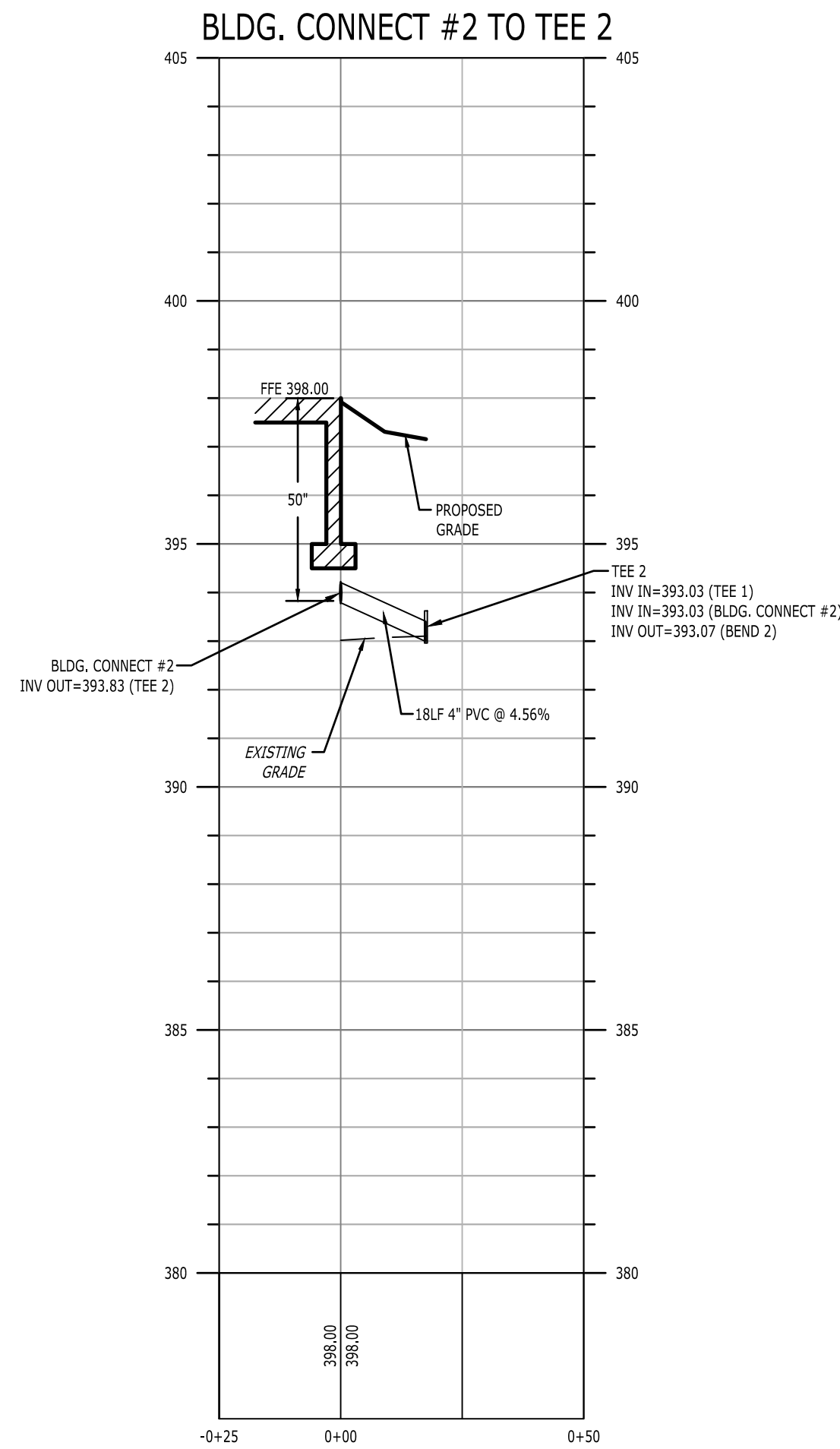
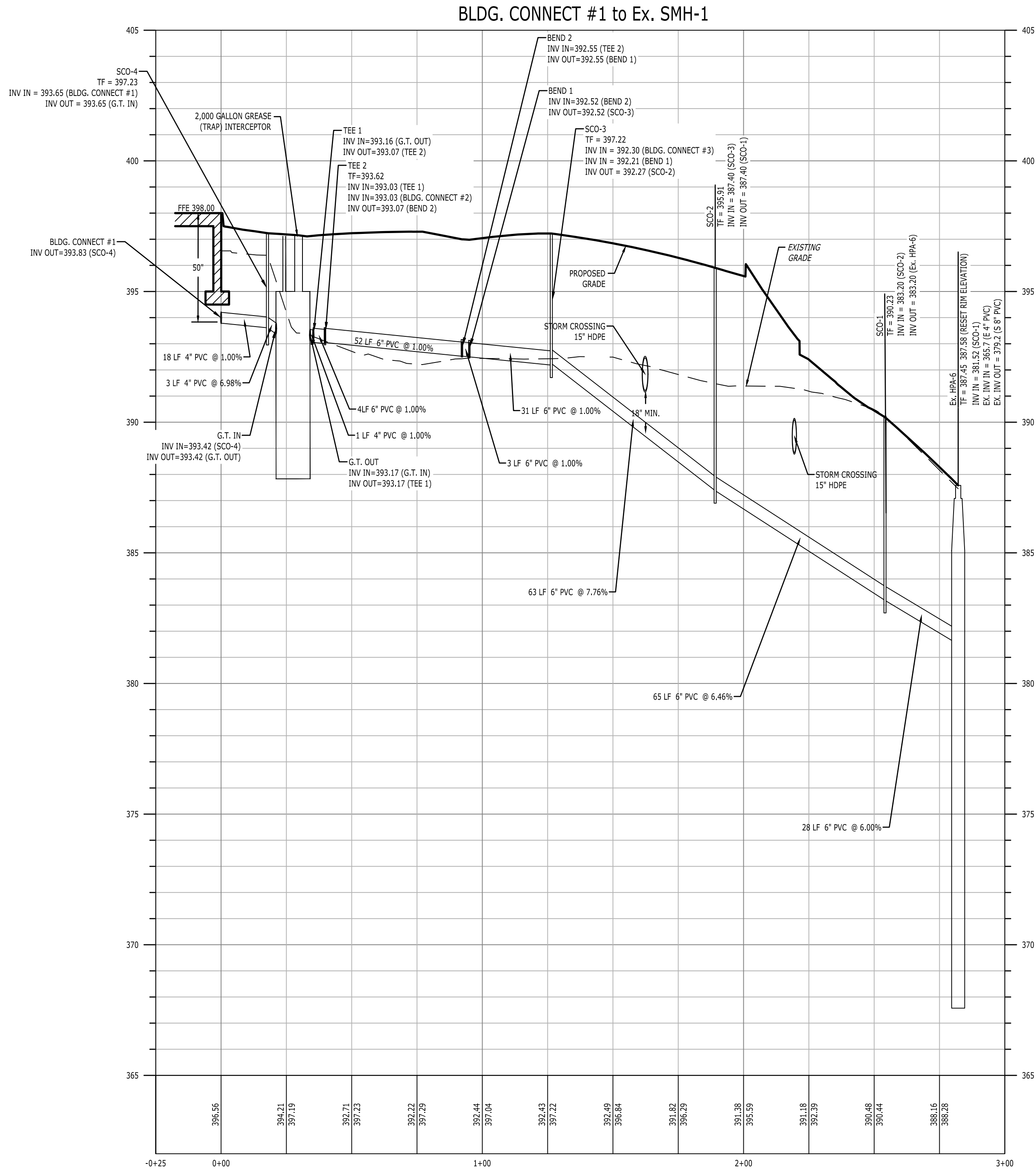
2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665



Architecture
Engineering
Environmental
Land Surveying

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION

11/2/2025, 3:06PM, G:\08023\0802302658\DWG\C2302658-22.DWG 15 SANITARY PROFILES



Xref(s) : X890 ; XC21

FINAL LAND DEVELOPMENT PLAN

SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE

3303 HARTZDALE DRIVE

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS		Desc.
No.	Date	
1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 30'
Project No. 2302658
Date 09/16/2024
CAD File: C2302658-22

Title
SANITARY PROFILES

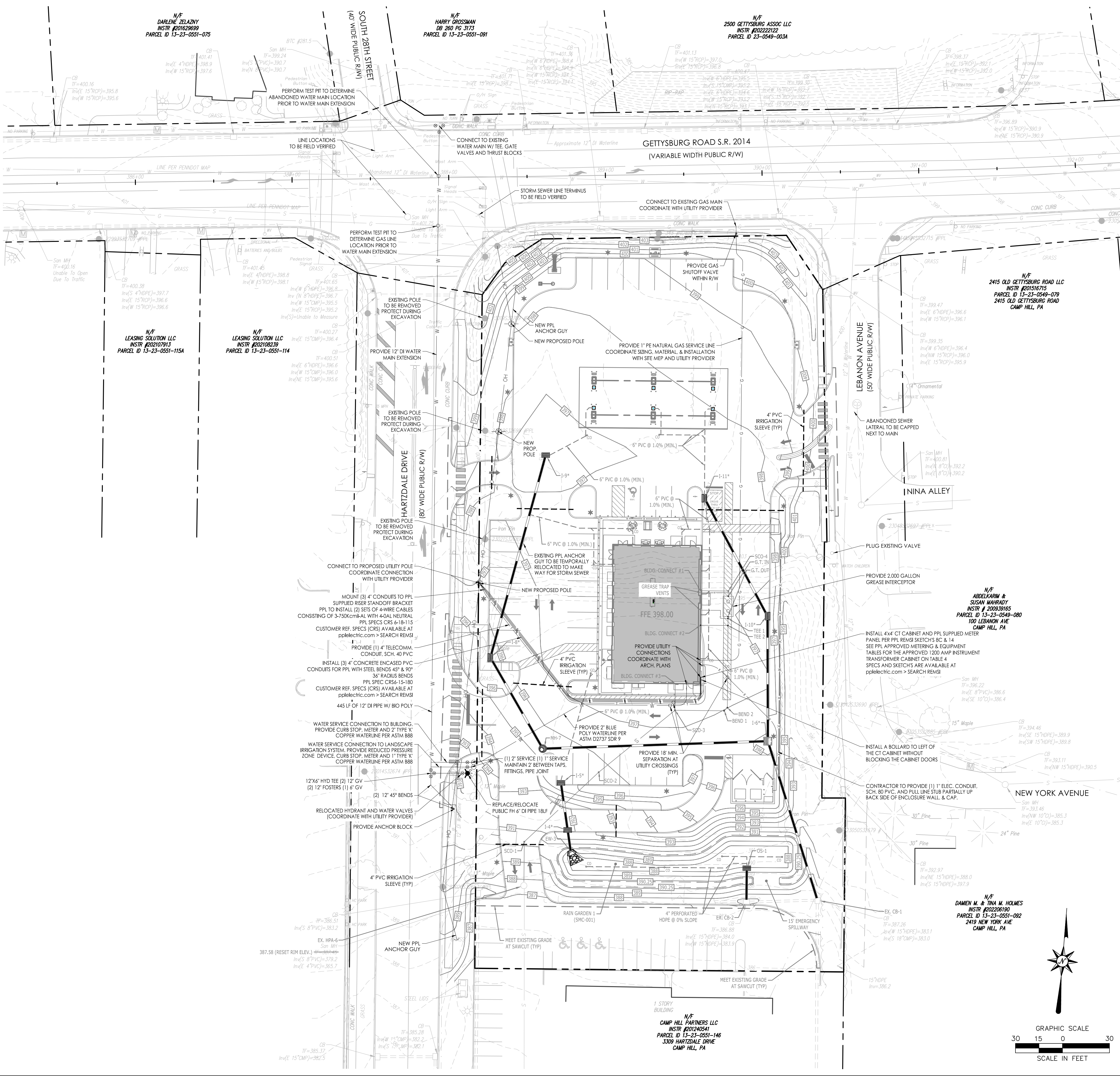
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C2.21
No. 16 of 22

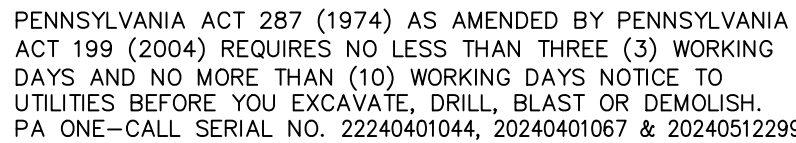


2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665





1. PROPOSED SANITARY SEWER LATERAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOWER ALLEN TOWNSHIP AUTHORITY RULES AND REGULATIONS.
2. EXISTING SANITARY SEWER MANHOLE (HPA-6) TO BE CORE DRILLED FOR THE NEW LATERAL AND SEAL WITH A WATERTIGHT PIPE TO MANHOLE CONNECTOR.
3. REMOVE THE EXISTING LATERAL CONNECTION TO EXISTING SANITARY SEWER MANHOLE (HPA-6) AND GROUT THE OPENING CLOSED.
4. FOR INFORMATION REGARDING DESIGN, COORDINATION AND INSTALLATION SPECIFICATIONS CONTACT GLENN MURRAY 484.781.5189
5. AT LEAST 8 WEEKS PRIOR TO COMPLETING FINAL GRADE, EMAIL AMY LAMER AT amy.lamer@ppl.com FOR SCHEDULING OF THE POLE LOCATIONS ON PPL WO#13850503. THE NEW POLES ARE TO BE SET ON FINAL GRADE.
6. EMAIL AMY LAMER FOR THE POLE MOUNTED STANDOFF BRACKET, AND TRENCH INSPECTION OF THE ELECTRIC DUCT INSTALLATION BEFORE CONCRETE ENCASEMENT ON PPL WO# 13843277.



FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS		
No.	Date	Desc.
1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

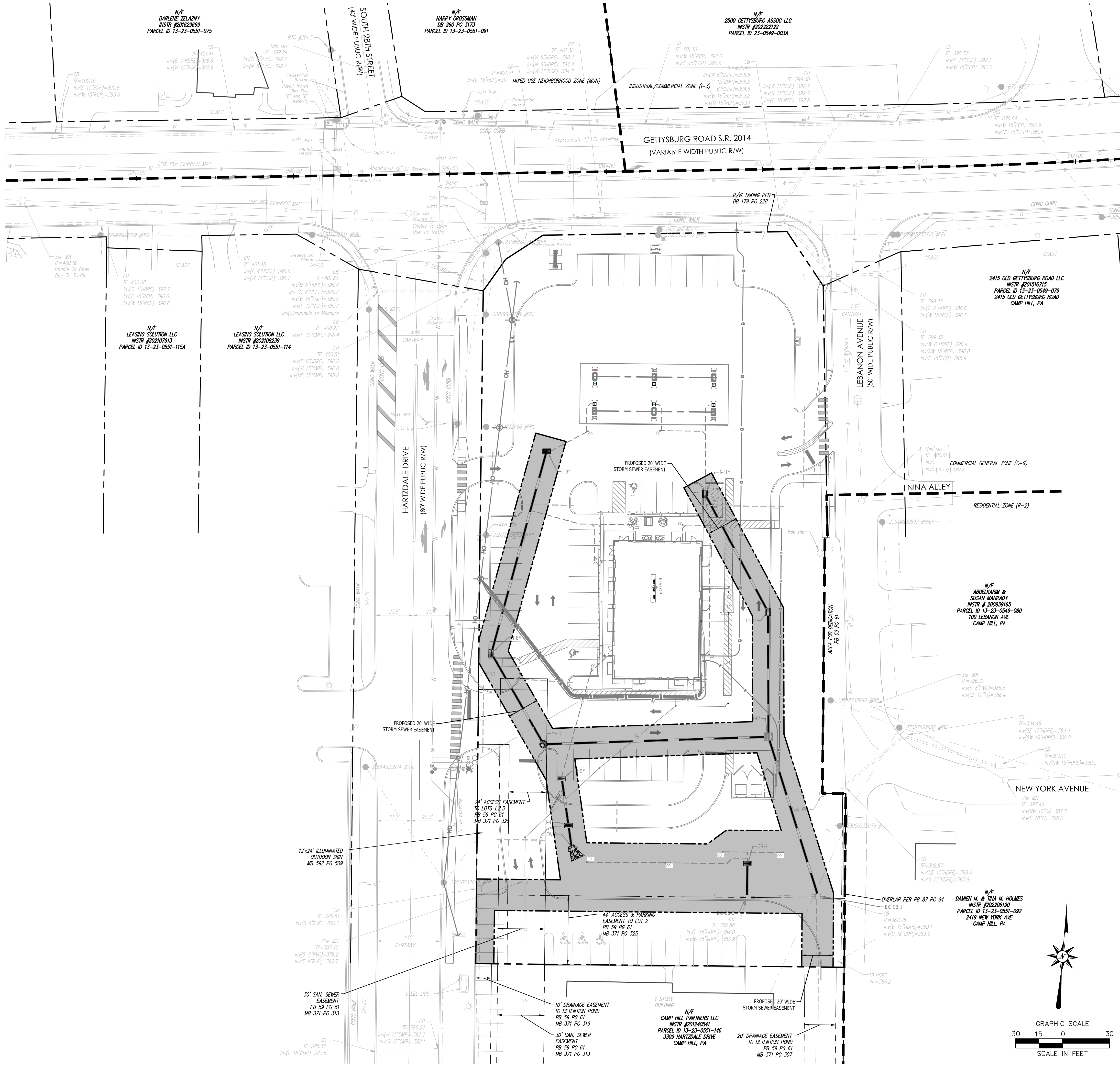
Designed J.B.W.
 Drawn J.R.J.
 Reviewed J.B.W.
 Scale 1" = 30'
 Project No. 2302658
 Date 09/16/2024
 CAD File:
 C2302658-30

SITE UTILITY PLAN

Sheet No.

C3.00
No. 17 of 22

LEGEND		SITE UTILITY LEGEND	
---	LOD	---	LIMIT OF DISTURBANCE
---	PROPERTY LINE	---	PROPERTY LINE
---	EASEMENT LINE	---	EASEMENT LINE
---	GAS LINE	---	GAS LINE
---	TELECOM LINE	---	TELECOM LINE
---	WATER LINE	---	WATER LINE
---	ELECTRIC LINE	---	ELECTRIC LINE
---	SANITARY LINE	---	SANITARY LINE
●	THRUST BLOCK	●	THRUST BLOCK



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE—CALL SERIAL NO. 22240401044, 20240401067 & 20240512299



2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665



FINAL LAND DEVELOPMENT PLAN SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE 3303 HARTZDALE DRIVE LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

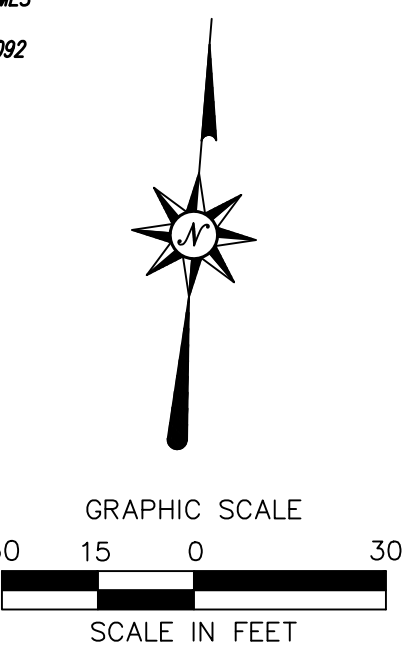
REVISED PER TWP. AND COUNTY COMMENTS	REVISED PER TOWNSHIP COMMENTS	REVISED PER TOWNSHIP COMMENTS
10/29/2024	01/31/2025	03/12/2025
1	2	3

Designed J.B.W.
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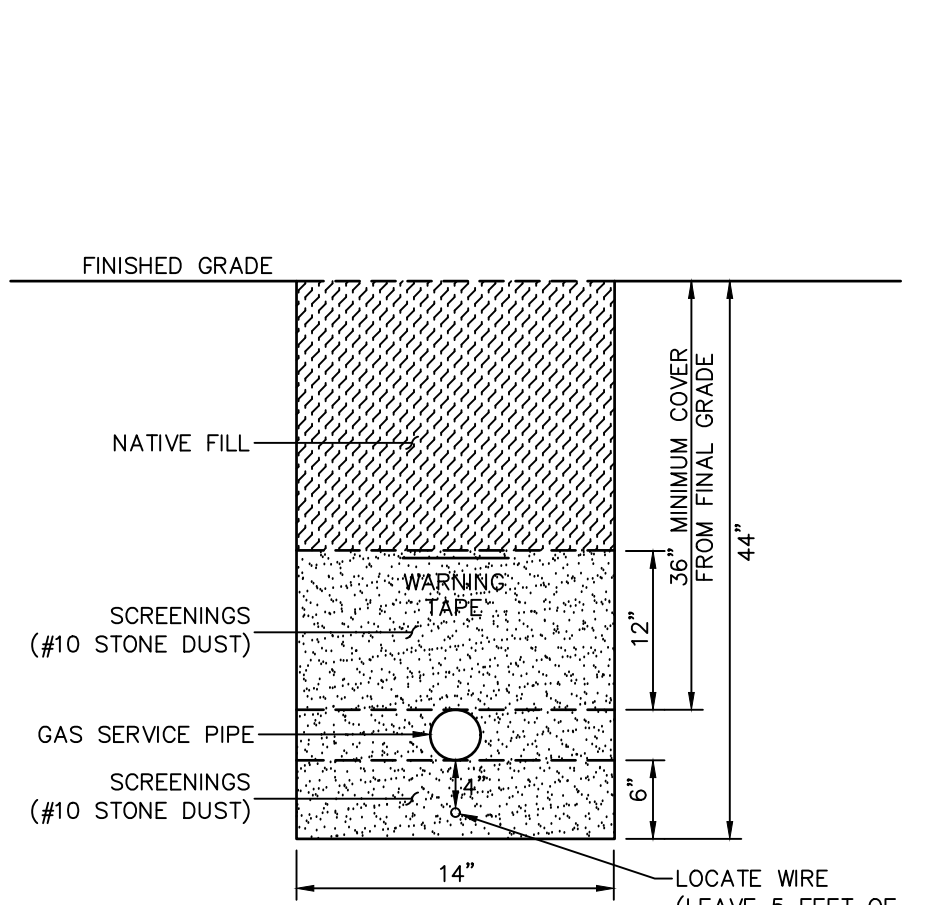
EASEMENT PLAN

Sheet No.

C3.01
No. 18 of 22



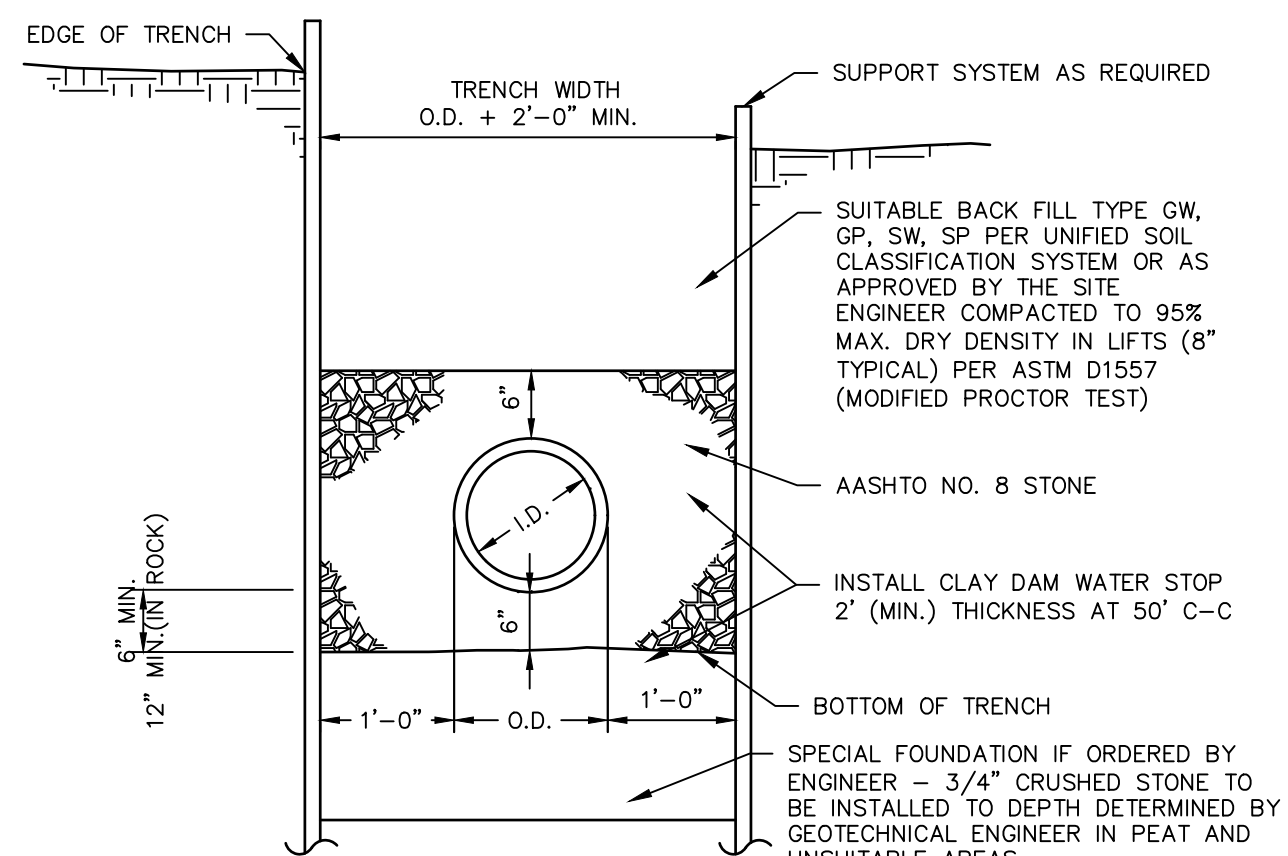
FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



- NOTES:
1. DEVELOPER MUST OPEN ENTIRE SERVICE DITCH, INSTALL LOCATE WIRE AND 6" OF SCREENING MATERIAL BEFORE UGI CAN INSTALL SERVICE.
 2. TRENCH DEPTH MUST BE 44" FROM EXISTING GRADE.
 3. DEVELOPER MUST INSTALL MINIMUM OF 12" OF SCREENINGS OVER TOP OF GAS SERVICE AT TIME OF INSTALLATION.
 4. DEVELOPER MUST PROVIDE A MINIMUM OF 24" OF NATIVE FILL OR 2A MODIFIED OVER THE TOP OF SCREENINGS.
 5. WARNING TAPE TO BE INSTALLED BY DEVELOPER 12" BELOW GRADE.
 6. UGI WILL PROVIDE WIRE AND WARNING TAPE.

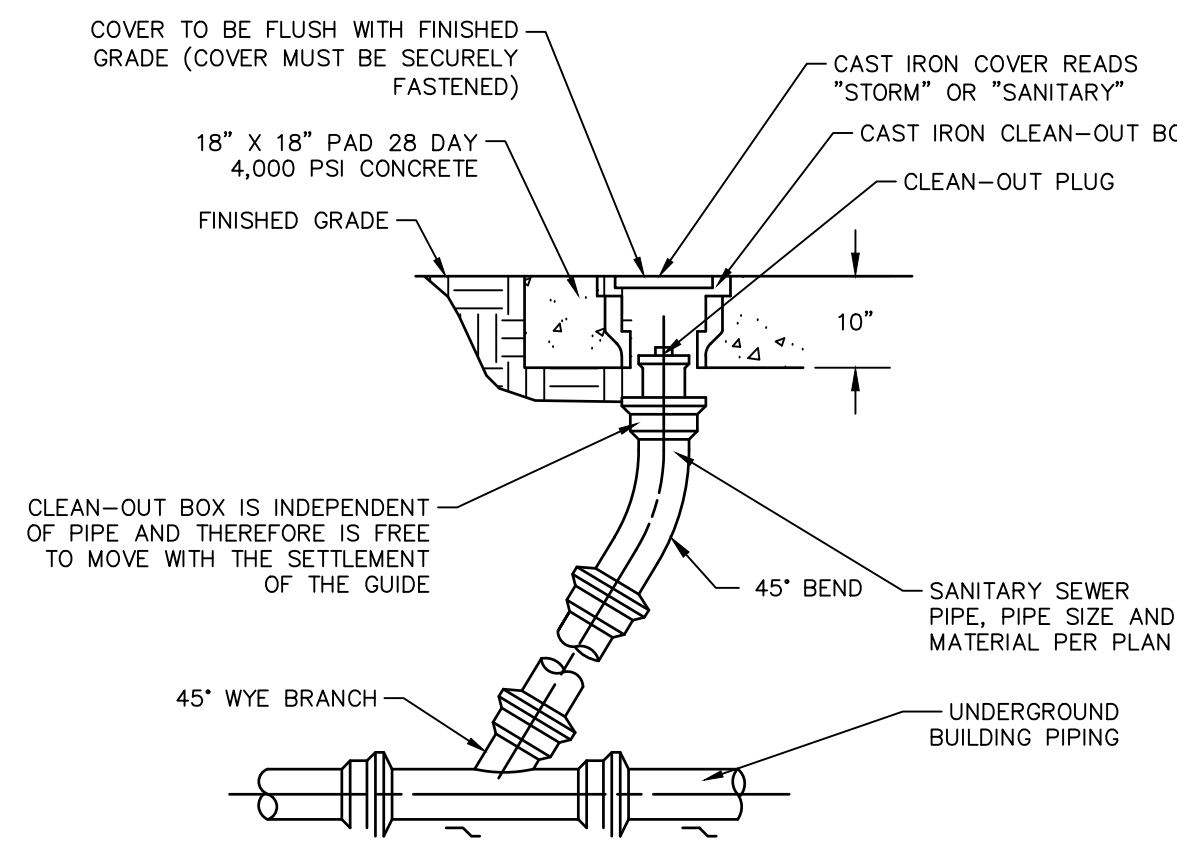
TYPICAL GAS TRENCH SECTION

N.T.S.



TYPICAL SANITARY SEWER TRENCH SECTION

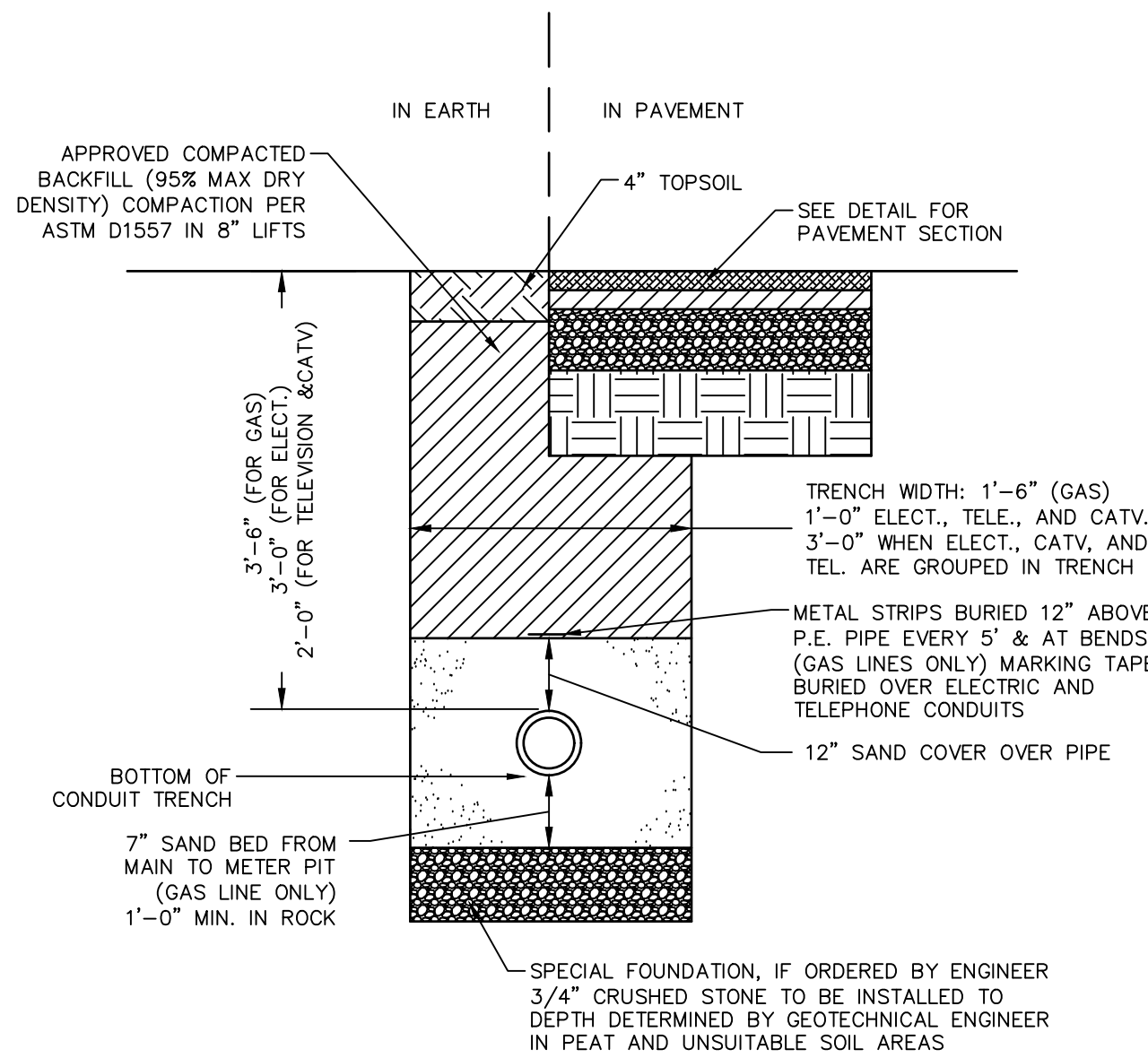
N.T.S.



- NOTES:
1. USE NON-SHEAR COUPLING TO MAKE CONNECTIONS TO DISSIMILAR MATERIALS. MANUFACTURER NEENAH FOUNDRY R-1970-78 HEAVY DUTY OR APPROVED EQUAL. CONTACT 1-800-558-5075.
 2. SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.

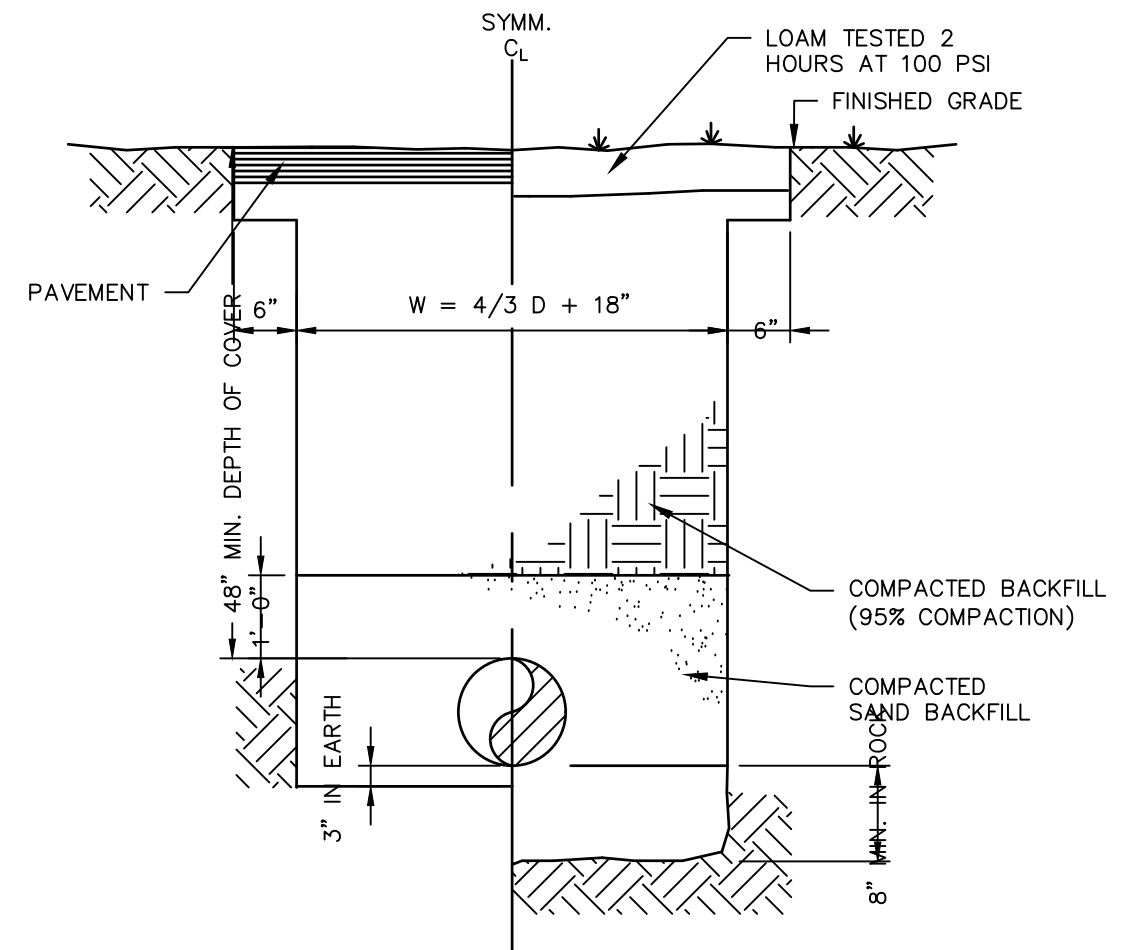
CLEANOUT DETAIL

N.T.S.



ELECTRICAL, TELEPHONE, COMMUNICATIONS, CATV, AND GAS TRENCH DETAIL

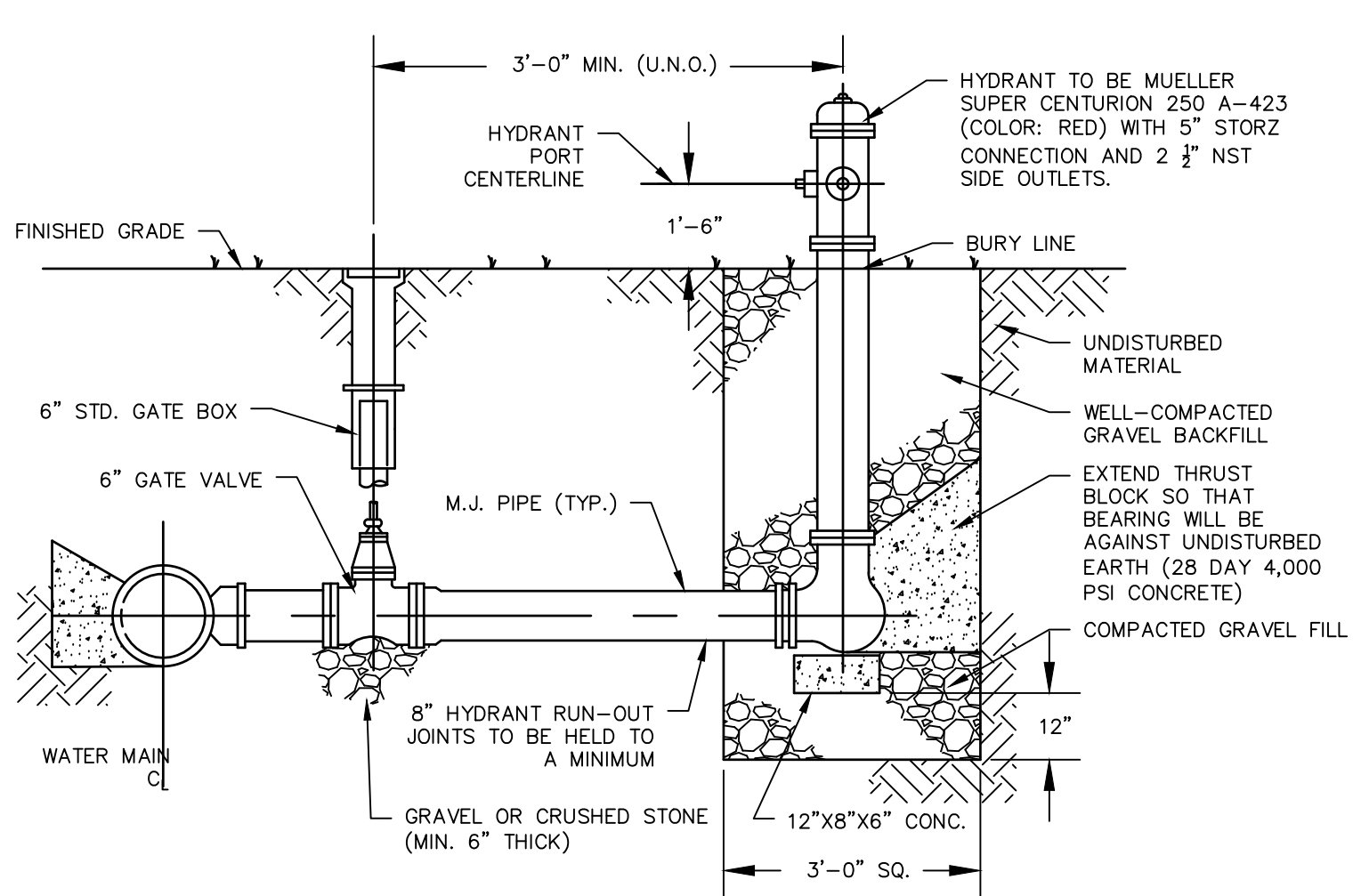
N.T.S.



- NOTES:
1. FIRE LINE PIPING > 3" I.D. TO BE CLASS 52 DUCTILE IRON WITH RESTRAINED JOINTS 40 FT. EACH SIDE OF ALL FITTINGS, ELBOWS AND APPURTENANCES. DOMESTIC PIPING > 3" I.D. TO BE PVC IN CONFORMANCE WITH AWWA C900. DOMESTIC PIPING < 3" I.D. TO BE TYPE K COPPER PER ASTM B 88.
 2. PIPING TO BE HYDROSTATIC PRESSURE AFTER INSTALLATION.

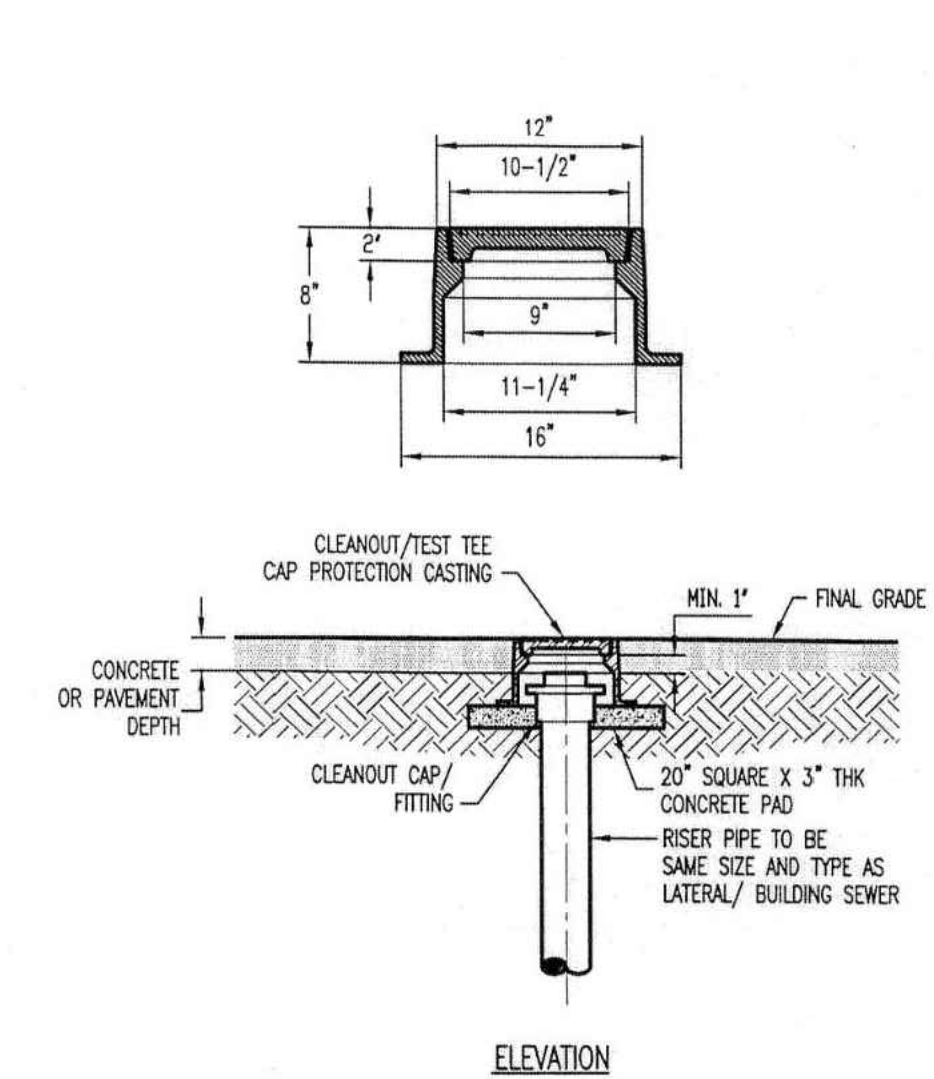
TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

N.T.S.



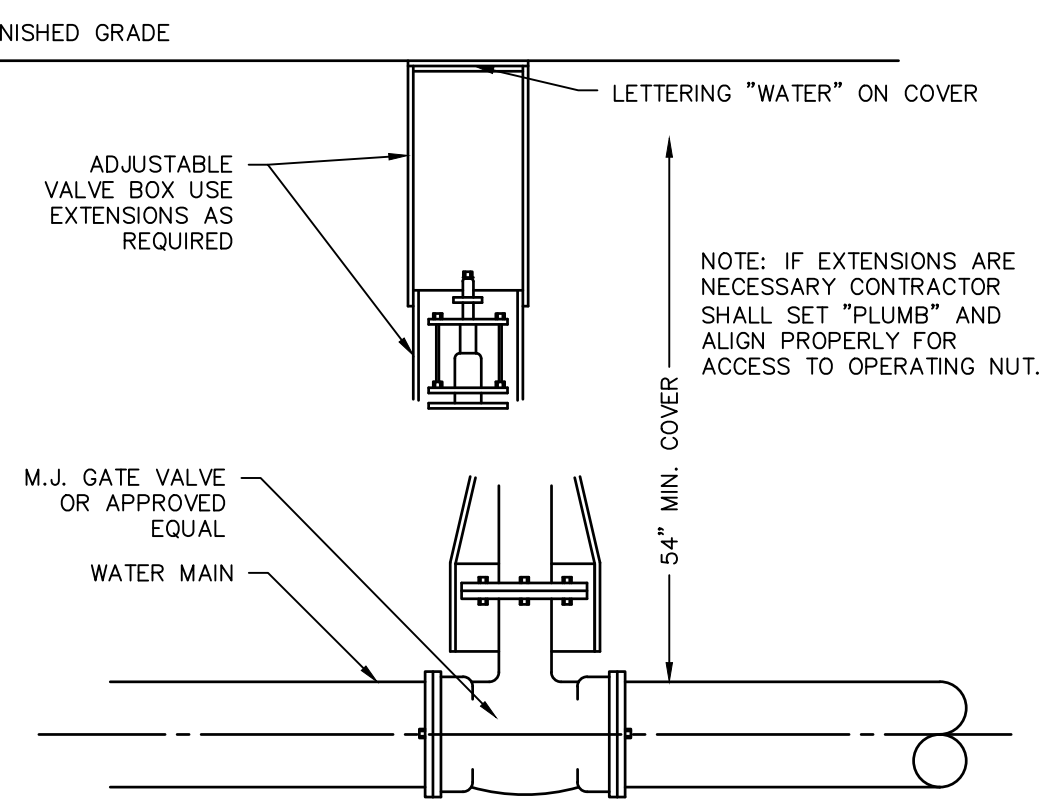
HYDRANT DETAIL WITH GATE BOX

N.T.S.



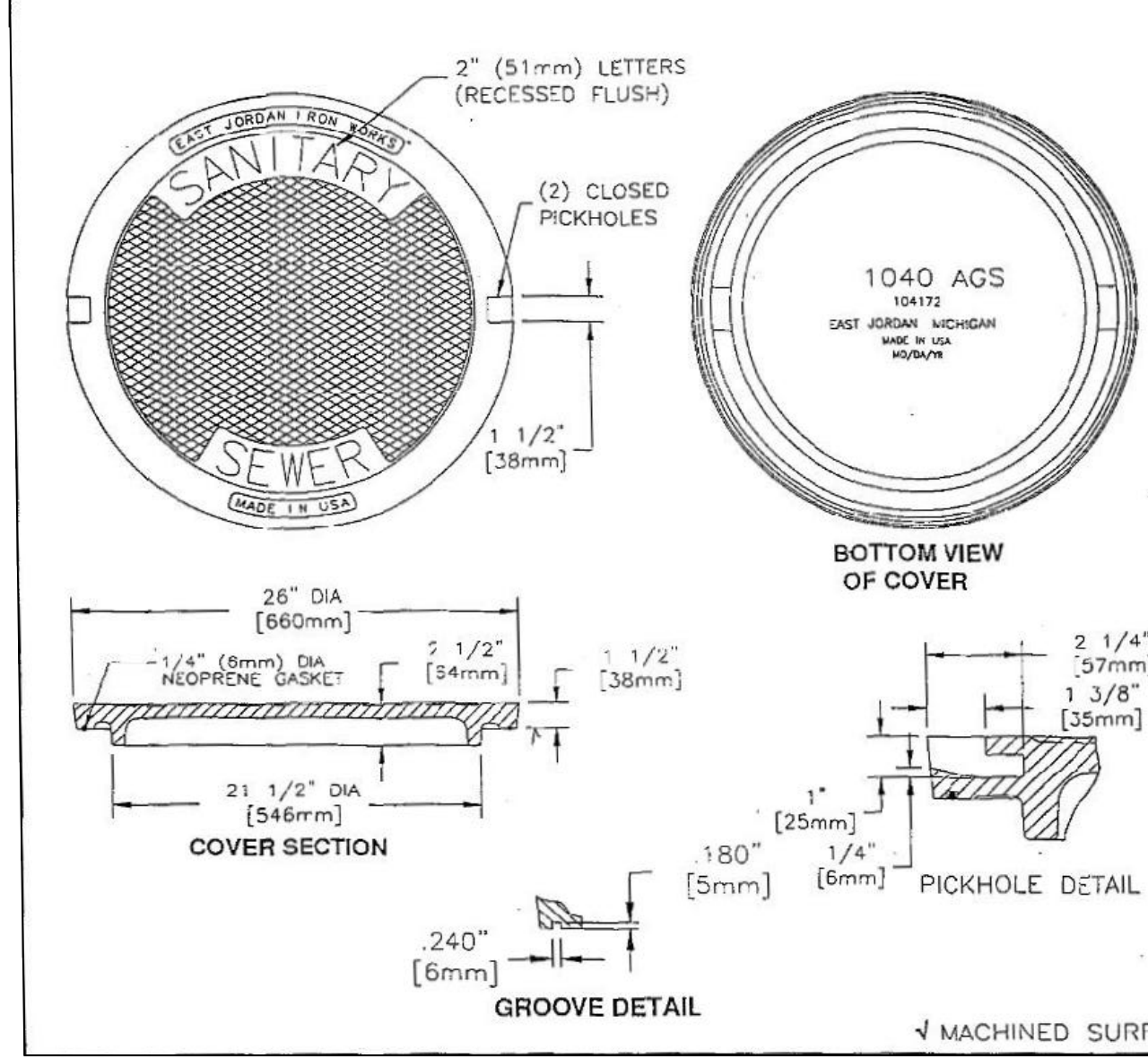
CAP PROTECTION CASTING DETAIL FOR AREAS EXPOSED TO VEHICULAR TRAFFIC, SNOWPLOWING, AND IN SIDEWALKS

N.T.S.



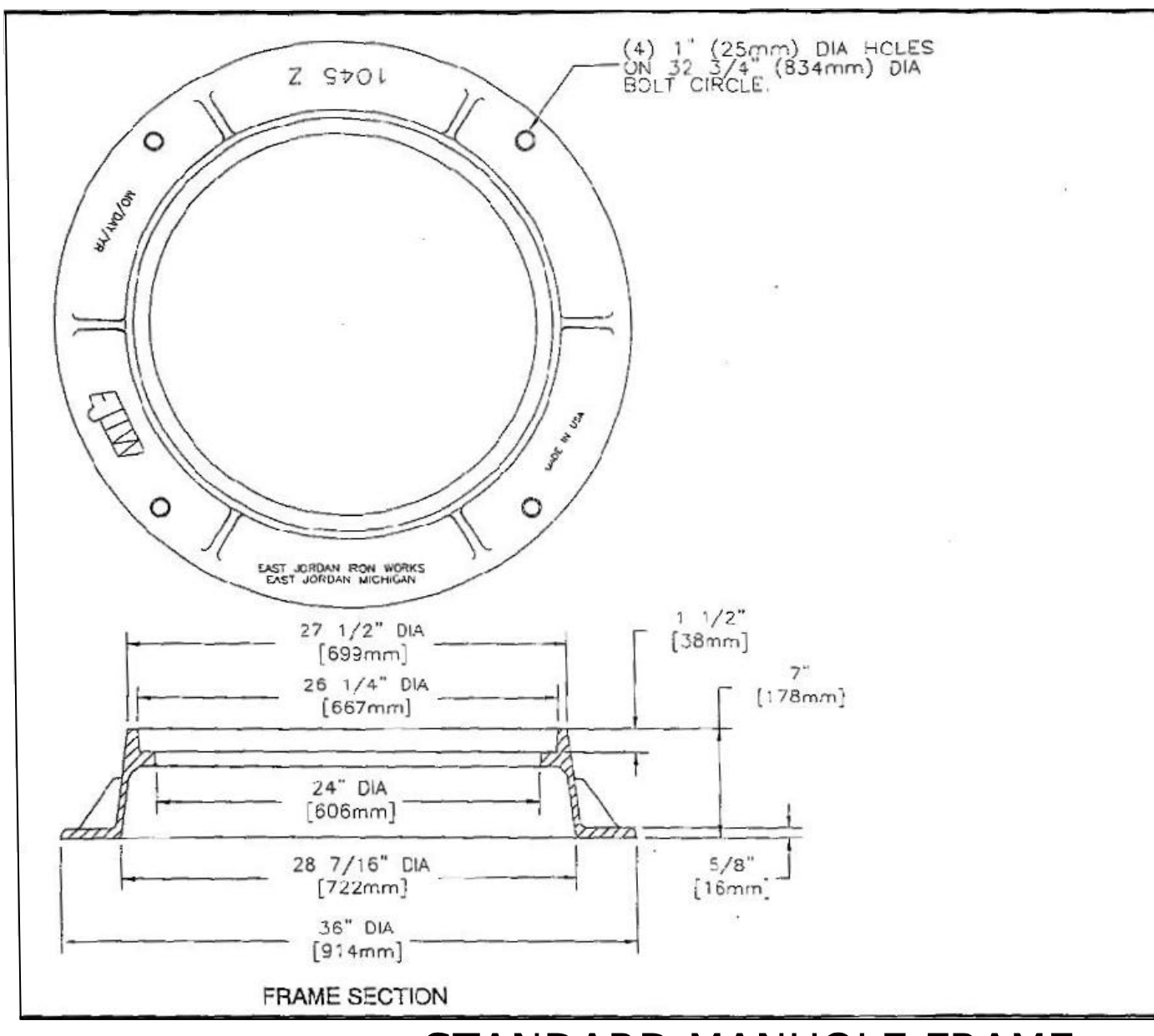
TYPICAL GATE VALVE AND VALVE BOX DETAIL

N.T.S.



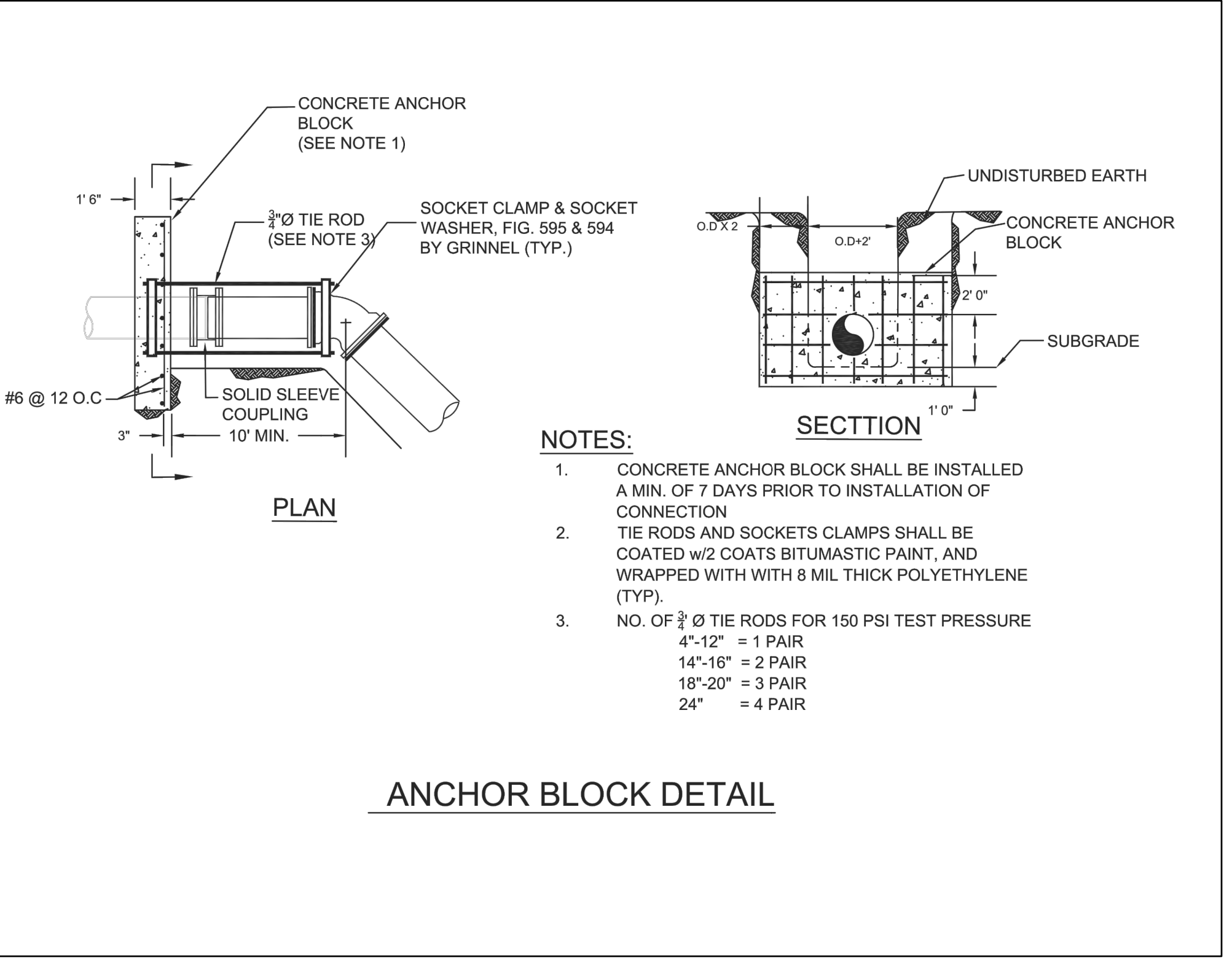
SPECIAL LETTERING MANHOLE COVER

N.T.S.



STANDARD MANHOLE FRAME

N.T.S.



- NOTES:
1. CONCRETE ANCHOR BLOCK SHALL BE INSTALLED A MIN. OF 7 DAYS PRIOR TO INSTALLATION OF CONNECTION.
 2. TIE RODS AND SOCKETS CLAMPS SHALL BE COATED w/2 COATS BITUMASTIC PAINT, AND WRAPPED WITH WITH 8 MIL THICK POLYETHYLENE (TYP.).
 3. NO. OF 3/4" Ø TIE RODS FOR 150 PSI TEST PRESSURE
4"-12" = 1 PAIR
14"-16" = 2 PAIR
18"-20" = 3 PAIR
24" = 4 PAIR

ANCHOR BLOCK DETAIL

EAST JORDAN IRON WORKS, INC.	
P.O. BOX 436	
EAST JORDAN, MI. 48727	
1-800-874-4100	
FAX 231-536-4458	
DRAWN	DATE
DEW	11/14/00
APPROVED	DATE
SPECIAL LETTERED COVER	
PRODUCT NO.	
00104172	
CATALOG NO.	
1040AGS	
REF. PRODUCT DRAWING	
104172	
EST. WT.	
COVER: 150 LBS 68kg	
OPEN AREA	
N/A	
MAT'L SPEC.	
COVER - GRAY IRON	
ASTM A48 CL35	
LOAD RATING	
HEAVY DUTY	

EAST JORDAN IRON WORKS, INC.	
P.O. BOX 436	
EAST JORDAN, MI. 48727	
1-800-874-4100	
FAX 231-536-4458	
DRAWN	DATE
DEW	08/25/99
APPROVED	DATE
MANHOLE FRAME	
PRODUCT NO.	
104510-DIPPED	
CATALOG NO.	
1045Z	
REF. PRODUCT DRAWING	
104510	
EST. WT.	
FRAME: 165 LBS 75kg	
OPEN AREA	
N/A	
MAT'L SPEC.	
FRAME - GRAY IRON	
ASTM A48 CL35	
LOAD RATING	
HEAVY DUTY	

Architecture
Engineering
Environmental
Land Surveying

BL Companies

2601 Market Place
Suite 350
Harrisburg, PA 17110
(717) 943-1665

SHEETZ
Sheetz, Inc.
5700 Sixth Avenue
Harrisburg, PA 17112
(610) 646-3811

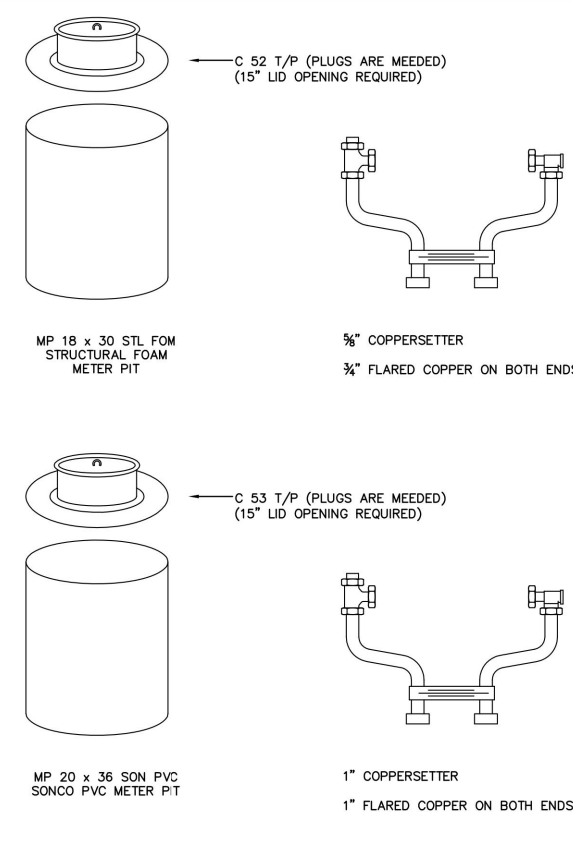
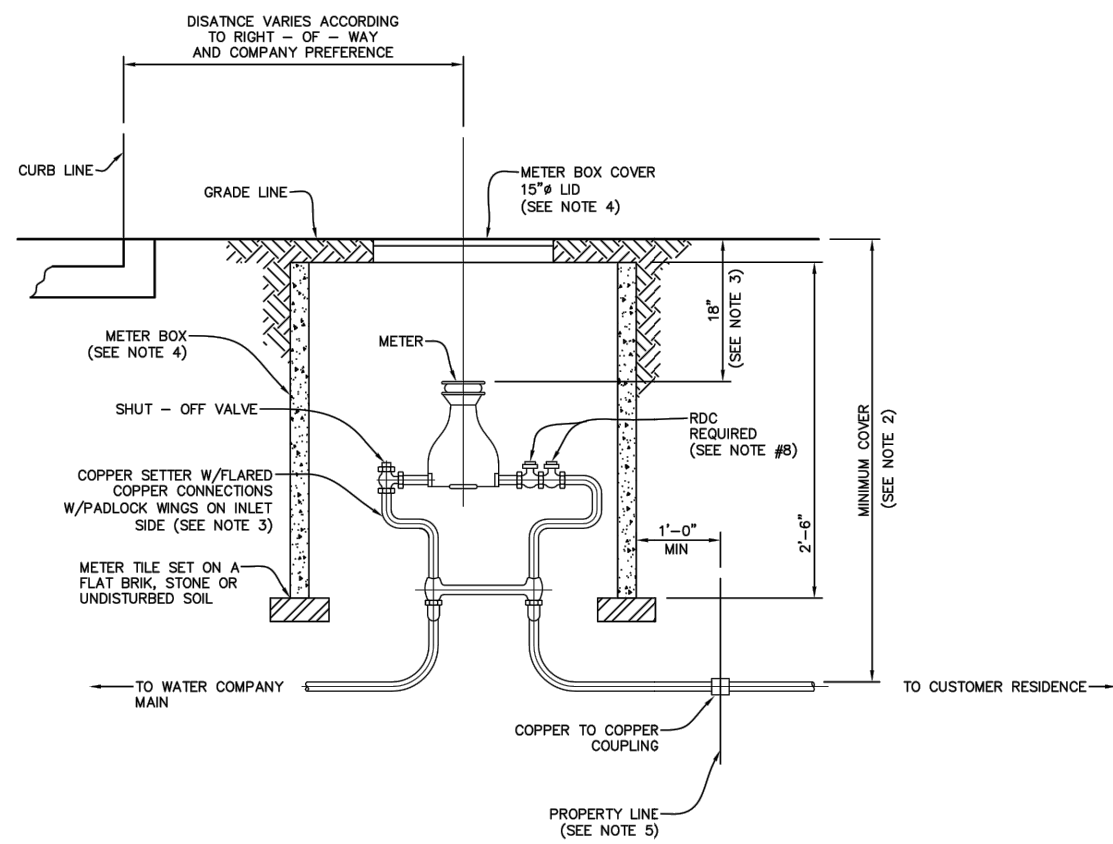
FINAL LAND DEVELOPMENT PLAN
SHEETZ - CAMP HILL (PA) HARTZDALE DRIVE
3303 HARTZDALE DRIVE
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS

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Drawn: J.R.J.
Reviewed: J.B.W.
Scale: N.T.S.
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Title: **SITE UTILITY DETAILS**
Sheet No.: **C3.100**
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3/4-INCH AND 1 INCH SERVICE LINE INSTALLATION WITH AN OUTSIDE METER PIT

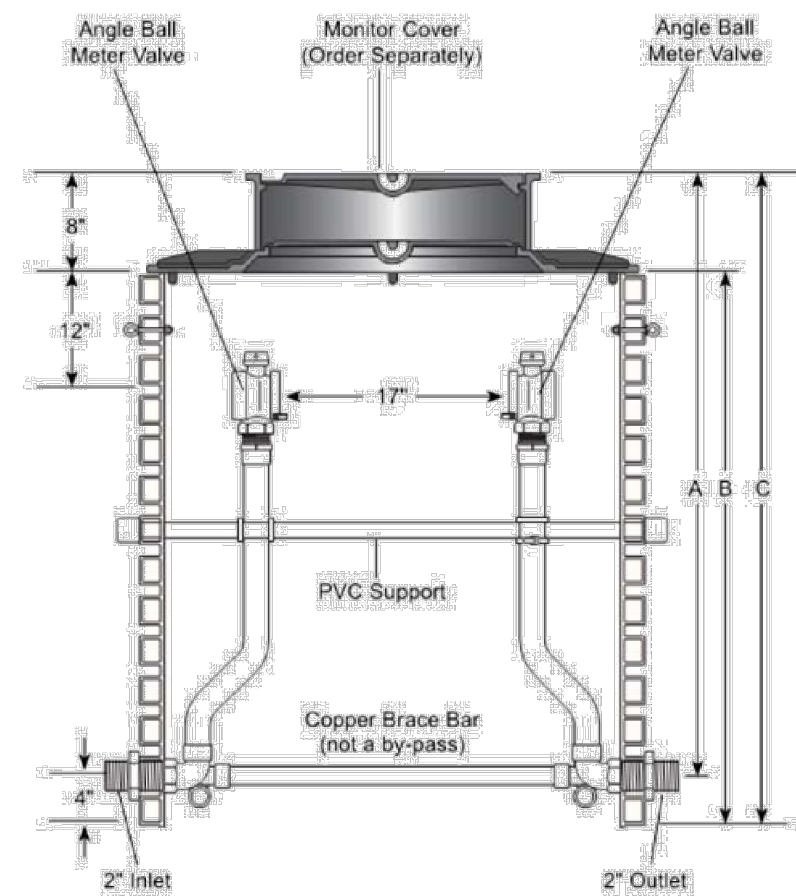


NOTES :

1. THIS SHEET DETAILS A SERVICE LINE INSTALLATION THAT INCLUDES AN OUTSIDE METER PIT.
2. THE WATER COMPANY WILL LOCATE THE WATER MAIN AND MARK THE LOCATION WHERE YOUR SERVICE LINE SHOULD END. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SERVICE MATERIALS AFTER THE CURB STOP, EXCEPT FOR THE METER. LEAVE THREE FEET OF COPPER EXTENDED OUT OF THE GROUND WHERE YOUR SERVICE LINE ENDS.
3. YOUR SERVICE LINE MUST BE 3/4" OR 1" TYPE L OR K COPPER OR MATERIAL APPROVED BY THE WATER COMPANY AND INSTALLED AS DETAILED IN THE SKETCH ABOVE. FLARED OR COMPRESSION COUPLINGS MUST BE USED FOR ALL UNDERGROUND CONNECTIONS.
4. A 18" DIAMETER METER PIT IS REQUIRED FOR A 3/4" METER. A 20" DIAMETER METER PIT IS REQUIRED FOR USE WITH A 1" METER. LID OPENING SHALL BE 15".
5. METER SETTER SHALL BE EQUIPPED WITH A FLANGED ANGLE INVERTED KEY SHUTOFF VALVE AND A CARTRIDGE ANGLE STYLE DUAL CHECK BACKFLOW DEVICE. METER SETTER SHALL BE INSTALLED 18" FROM BOTTOM OF LID TO TOP OF METER.
6. PLEASE NOTIFY THE WATER COMPANY AT LEAST FOUR WEEKS PRIOR TO THE DATE THAT YOU REQUIRE WATER SERVICE.
7. A PRESSURE REDUCING VALVE (PRV) IS REQUIRED WHEN PRESSURE EXCEEDS 100 PSI. A TANDEN SETTER SHALL BE USED WITH A BRASS PRV WITH EXPOSED STAINLESS STEEL HARDWARE.
8. RESIDENTIAL APPLICATIONS REQUIRE THE USE OF A RESIDENTIAL DUAL CHECK VALVE. COMMERCIAL AND INDUSTRIAL APPLICATIONS REQUIRE A TESTABLE DOUBLE CHECK VALVE OR REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER, DEPENDING ON SERVICE PROCESS.
9. ALL OTHER SOURCES OF WATER SUCH AS WELLS, CISTERNS, ETC., MUST BE PHYSICALLY DISCONNECTED FROM THE PIPING THAT IS TO BE SERVICED BY THE WATER COMPANY.
10. THE SERVICE LINE SHALL NOT BE INSTALLED IN THE SAME TRENCH WITH ANY OTHER PUBLIC UTILITY OR WITHIN FIVE FEET OF ANY EXCAVATION OR VAULT.
11. A SEPARATE SERVICE LINE IS REQUIRED FOR EACH METERED CONNECTION.
12. SERVICE CANNOT BE PROVIDED IF THE FOREGOING REQUIREMENTS ARE NOT MET.
13. THE WATER COMPANY WILL INSTALL THE METER AFTER THE CUSTOMER HAS COMPLETED THE ABOVE REQUIREMENTS AND AFTER THE CUSTOMER AND WATER COMPANY COMPLETE THEIR SERVICE LINES.
14. A PRESSURE EXPANSION TANK ON THE HOT WATER SYSTEM IS HIGHLY RECOMMENDED. THE WATER COMPANY WILL NOT BE RESPONSIBLE FOR ANY LEAKAGE FROM THE HOT WATER TANK TOP-OFF VALVE.

7

2-INCH METER PIT SPECIFICATIONS



TYPICAL 2" SERVICE OUTSIDE METER PIT

1. This sheet details a service line installation that includes an outside meter pit.
2. The water company will locate the water main and mark the locations where your service line should end. The customer is responsible for installing and maintaining all service materials after the curb stop, except for the meter. Leave three feet of copper extended out of the ground where your service line ends.
3. Your service line must be 2" type L or K copper or material approved by the water company and installed as detailed in the sketch. Flared or compressed couplings must be used for all underground connections.
4. A 36" diameter meter pit is required for 2" meter. Lid opening shall be 20".
5. Meter setter shall be equipped with a flanged angle inverted key shutoff valve. Meter setter shall be installed 18" from bottom of the lid to top of meter.
6. Please notify the water company at least four weeks prior to the date that you require water service.
7. A pressure reducing valve (PRV) is required when pressure exceeds 100 psi. A tandem setter shall be used with a brass PRV with exposed stainless steel hardware.
8. All other sources of water such as wells, cisterns, etc, MUST be physically disconnected from the piping that is to be serviced by the water company.
9. The service line shall not be installed in the same trench with any other public utility of within five feet of any excavation or vault.
10. A separate service line is required for each metered connection.
11. Service can not be provided if the foregoing requirements are not met.
12. The water company will install the meter after the customer has completed the above requirements and after the customer and water company completed their service lines.
13. The connection to existing water main and valve will be installed by the water company.
14. Valves and fittings less than 1 1/2" are I.P.S. All are to be brass.
15. All valves to be maintained by the customer.
16. Double check (DC) backflow prevention device is required and / or backflow prevention device of reduced pressure principle (RPZ) design may be required. This type of device is to be installed on the service line, inside and at the point where it enters the building. (Type and manufactures of backflow may affect dimensions.)

8

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Project No.	2302658
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CAD File:	C2302658-110

SITE UTILITY DETAILS

Sheet No.

C3.101
No. 20 of 22

LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, GAGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING, PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. PLANTING SOIL:

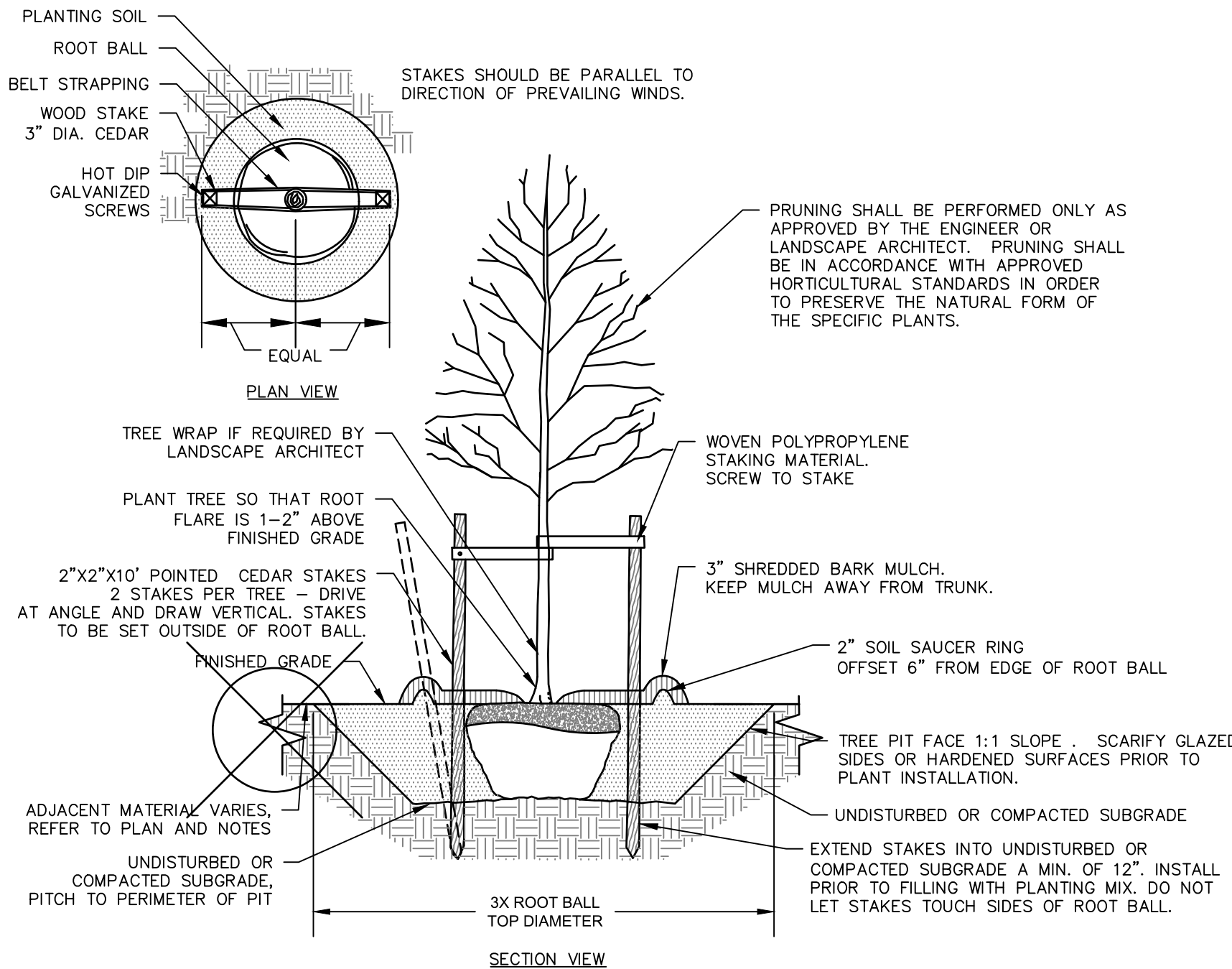
DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ORGANIC CONTENT | 3% – 6% FOR LAWN OR GRASS AREAS.
4% – 8% FOR TREE AND SHRUB PLANTERS.
8%-16% FOR RETENTION OR DETENTION BASINS.
(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING) |
| PH | 6.0 – 7.3 |
| C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED. | |
| D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN. | |
| E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE. AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF PENNSYLVANIA, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS. | |
| F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS: | |
| - LOAM | |
| - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%. | |
| - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%. | |
| G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS: | |
| - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT. | |
| - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR. | |
| H. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT. | |

12. PLANTING AMENDMENTS:
- APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.
13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE: ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.
14. INSPECTION AND REVIEW:
- ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS.
- PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.
15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)
- | | | |
|-----------|-----------------------------|-----------------------------------|
| PLANTINGS | SUMMER
JUNE 1 TO JUNE 15 | FALL
SEPTEMBER 1 TO OCTOBER 15 |
|-----------|-----------------------------|-----------------------------------|
16. SEEDING MIXTURES: REFER TO SEED MIX NOTES.
- SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.
17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.



NOTES:

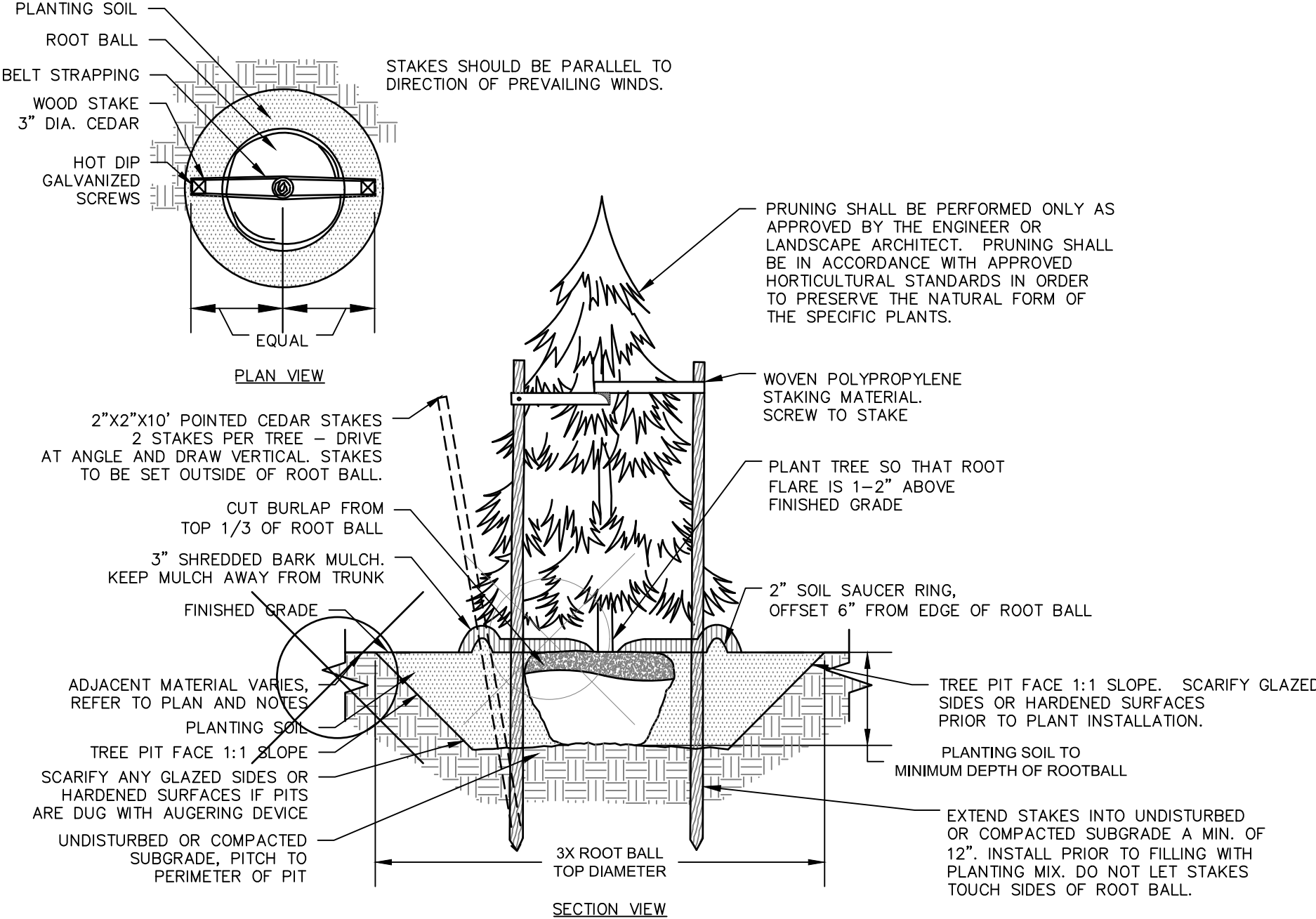
1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

DECIDUOUS TREE PLANTING

N.T.S

SEED MIX NOTES

- A. LAWN SEEDING MIX:
- 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
- 25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
- 60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
- SEEDING RATE: 5 LBS/1,000 S.F.
- SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- B. LOW MAINTENANCE SEED MIX:
- ERNMX-310 – NC STEEP SLOPE MIX
- ERNST SEEDS OR APPROVED EQUAL
- 22.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILDRYE, MADISON-NY ECOTYPE)
- 21.7% SORGHASTRUM NUTANS, PA ECOTYPE (INDIANGRASS, PA ECOTYPE)
- 18.0% PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE (SWITCHGRASS, 'CARTHAGE', NC ECOTYPE)
- 18.0% SCHIZACHYRIUM SCOPARIUM, 'ALDOUS' (LITTLE BLUESTEM, 'ALDOUS')
- 15.0% TRIDENS FLAVUS (PURPLETOP)
- 1.3% CHAMAECRISTA FASCIOLATA, FL ECOTYPE (PARTRIDGE PEA, FL ECOTYPE)
- 1.3% COREOPSIS LANCEOLATA (LANCELEAF COREOPSIS)
- 1.3% RUDBECKIA HIRTA (BLACKEYED SUSAN)
- 1.0% BIDENS ARISTOSA, COASTAL PLAIN NC ECOTYPE (SHOWY TICKSEED SUNFLOWER (BUR MARIGOLD), COASTAL PLAIN NC ECOTYPE)
- 0.2% MONARDA PISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WLD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)
- 0.2% TRADESCANTIA OHIENSIS, PA ECOTYPE (OHIO SPIDERWORT, PA ECOTYPE)
- APPLICATION RATE: 45 LBS/ACRE
- COVER CROP USE ONE OF THE FOLLOWING: GRAIN OATS (30 LBS/ACRE; 1 JAN TO 30 APR), BROWN TOP MILLET (10 LBS/ACRE; 1 MAY TO 31 AUG), OR GRAIN RYE (30 LBS/ACRE; 1 SEP TO 31 DEC)
- SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- C. WET SEED MIX:
- ERNMX-183 – NATIVE DETENTION AREA SEED MIX
- ERNST SEEDS OR APPROVED EQUAL
- 26.0% PANICUM CLANDESTINUM, TIOGA (DEERTONGUE, TIOGA)
- 25.0% PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE (SWITCHGRASS, 'CARTHAGE', NC ECOTYPE)
- 20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
- 20.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILDRYE, MADISON-NY ECOTYPE)
- 4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE ECOTYPE)
- 3.0% JUNCUS EFFUSUS (SOFT RUSH)
- 1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE)
- 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)
- APPLICATION RATE: 60 LBS/ACRE; 1000 SF/LB
- SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

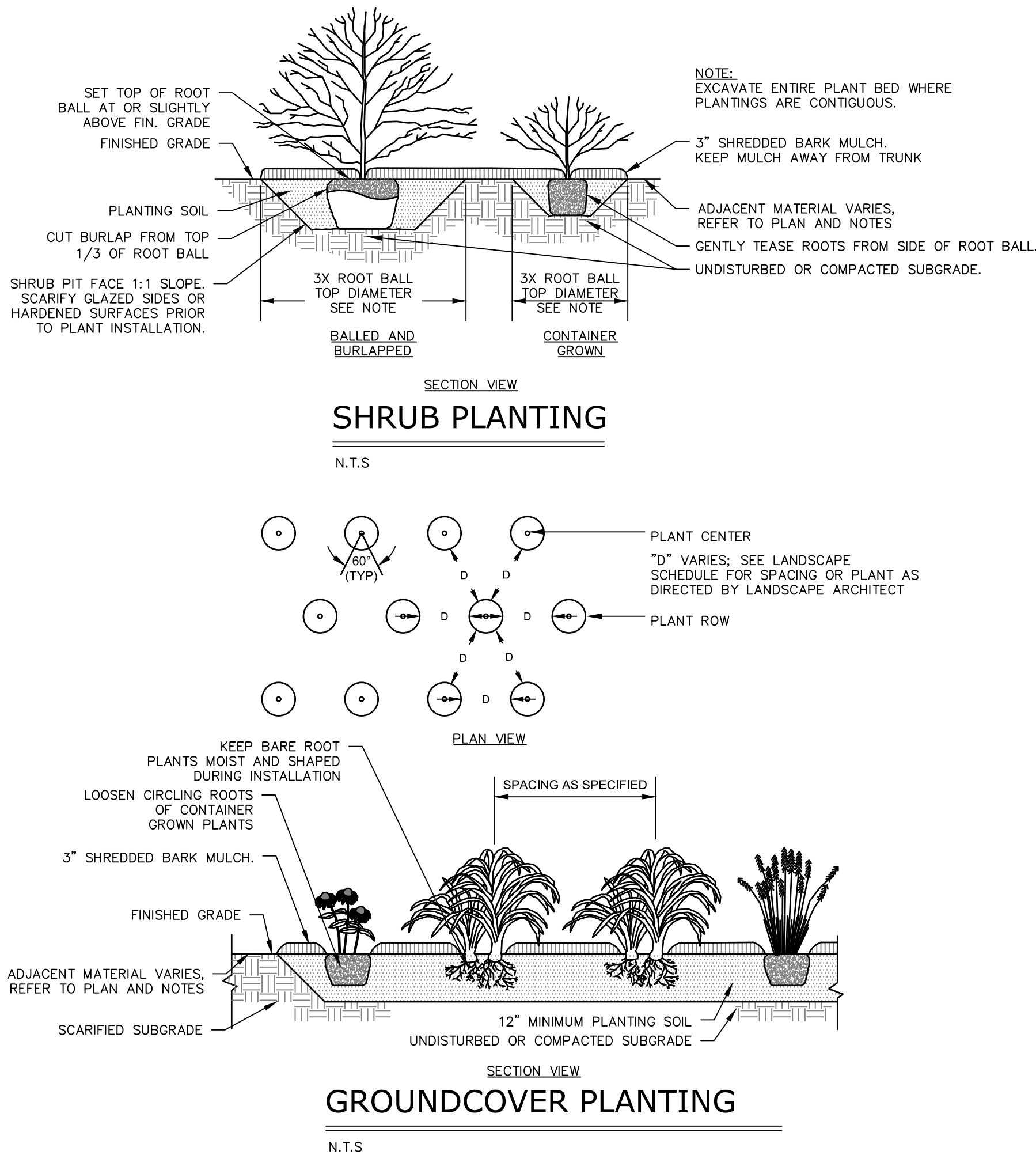


NOTES:

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EVERGREEN TREE PLANTING

N.T.S



GROUNDCOVER PLANTING

N.T.S

REVISONS	No.	Date	Desc.	REVISOR	TOWNSHIP COMMENTS
	1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS		
	2	01/31/2025	REVISED PER TOWNSHIP COMMENTS		
	3	03/12/2025	REVISED PER TOWNSHIP COMMENTS		

Designed : J.B.W.
Drawn : J.R.J.
Reviewed : J.B.W.
Scale : N.T.S.
Project No. : 2302658
Date : 09/16/2024
CAD File : C2302658-50

LANDSCAPING
NOTES &
DETAILS

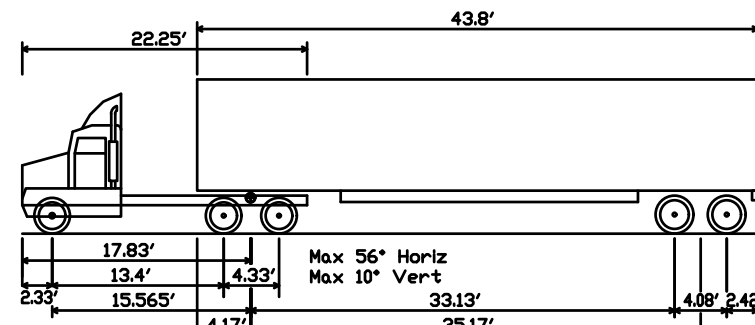
Sheet No.

3/12/2025, 3:00PM, G:\08623\80\202458\DWG\TT2302658-10.DWG, 1. TRUCK TURNING PLAN.

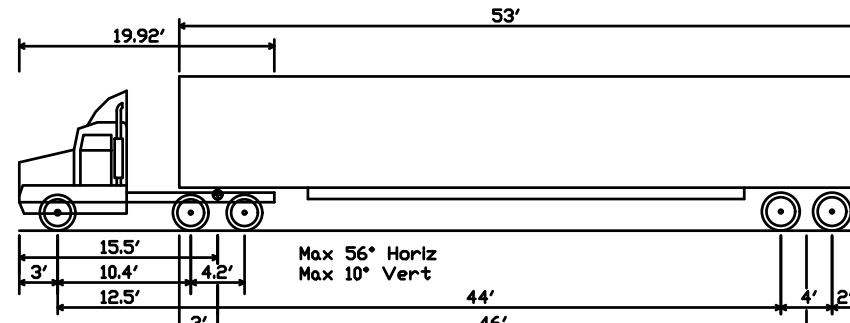


Know what's below.
Call before you dig.

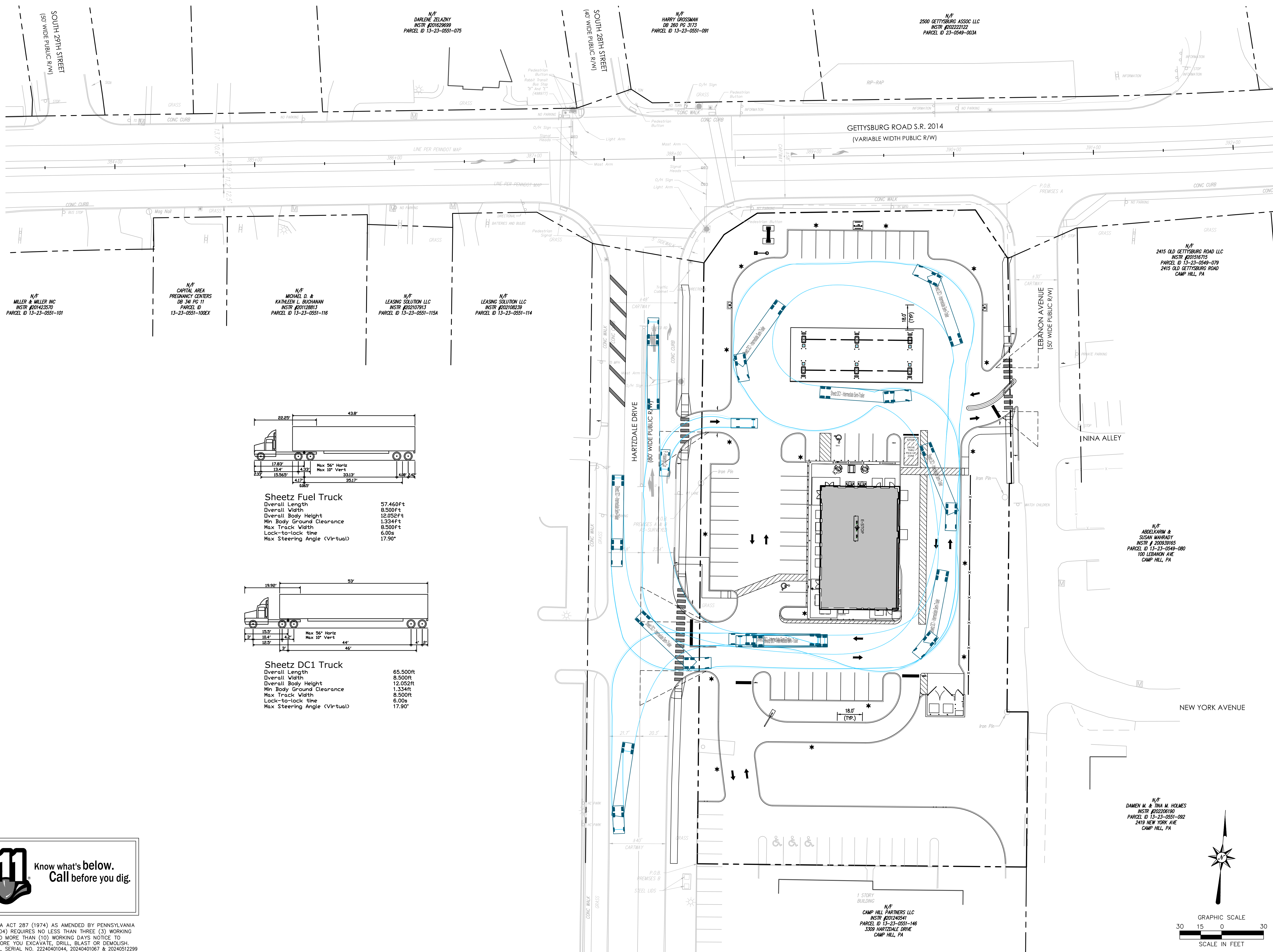
PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 22240401044, 20240401067 & 20240512299



Sheetz Fuel Truck
Overall Length 57.460ft
Overall Width 8.500ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 17.90°



Sheetz DC1 Truck
Overall Length 65.500ft
Overall Width 8.500ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 17.90°



N/F
DAMIEN M. & TINA M. HOLMES
INSTR # 202206190
PARCEL ID 13-23-0551-082
2419 NEW YORK AVE
CAMP HILL, PA



GRAPHIC SCALE
30 15 0 30
SCALE IN FEET

REVISIONS		Desc:
No.	Date	REVISOR
1	10/29/2024	REVISED PER TWP. AND COUNTY COMMENTS
2	01/31/2025	REVISED PER TOWNSHIP COMMENTS
3	03/12/2025	REVISED PER TOWNSHIP COMMENTS

Designed J.B.W.
Drawn J.R.J.
Reviewed J.B.W.
Scale 1" = 30'
Project No. 2302658
Date 09/16/2024
CAD File: TT2302658-10

Title
**TRUCK
TURNING PLAN**

Sheet No.

TT-1.00
No. 1 of 1

Xref(s) : BB01 ; XY02 ; XC00 ; XC0202658-10-Truck